

Attachment 4 - Architectural Plans

DEVELOPMENT APPLICATION

CAMPBELLTOWN

8 DUMARESQ STREET

DA DRAWING LIST

DWG NO.	TITLE	REV
DA0.00 PRELIMINARIES		
DA0.01	COVER SHEET	G
DA0.02	DATA SHEET	E
DA1.00 SITE PLANS		
DA1.01	SITE ANALYSIS / SITE PLAN	D
DA1.02	STREETSCAPE ANALYSIS	D
DA1.02B	INDICATIVE MASTER PLAN	C
DA1.03	SITE DIAGRAMS	D
DA1.04	DEMOLITION PLAN	D
DA1.04B	SURVEY	B
DA2.00 FLOOR PLANS		
DA2.01	LEVEL 1 - CARPARK	M
DA2.01B	LEVEL 1 - FUTURE ROAD	C
DA2.05	LEVEL 2	N
DA2.06	LEVEL 3	F
DA2.07	LEVEL 4	L
DA2.08	LEVEL 5-13	N
DA2.09	LEVEL 14	N
DA2.10	LEVEL ROOF	K
DA2.11	BASEMENT 1	F
DA2.12	BASEMENT 2	D
DA2.13	BASEMENT 3	F
DA2.14	BASEMENT 4	F
DA3.00 ELEVATIONS		
DA3.01	NORTH EAST - FUTURE ROAD	H
DA3.02	SOUTH WEST - DUMARESQ STREET	H
DA3.03	SOUTH EAST ELEVATION	G
DA3.04	NORTH WEST ELEVATION	G
DA4.00 SECTIONS		
DA4.01	SITE SECTION - SECTION 1-1	H
DA4.02	SITE SECTION - SECTION 2-2	H
DA4.03	RAMP DETAIL	D
DA5.00 SHADOW ANALYSIS		
DA5.01	SHADOW ANALYSIS - Proposed 21st JUNE	F
DA5.02	SHADOW ANALYSIS- 45 m HEIGHT 21 st JUNE	D
DA5.20 SOLAR ANALYSIS		
DA5.21	SOLAR ANALYSIS DIAGRAM	E
DA5.22	SOLAR ANALYSIS UNIT X.04	A
DA5.30 CROSS VENTILATION		
DA5.31	CROSS VENTILATION DIAGRAM	E
DA5.40 STORAGE DIAGRAM		
DA5.41	STORAGE DIAGRAM	E
DA6.00 ADAPTABLE UNITS		
DA6.01	ADAPTABLE UNIT PLAN	F
DA8.00 MATERIAL BOARD		
DA8.01	MATERIAL BOARD	F
DA8.02	MATERIAL BOARD	C
DA8.10	ACTIVATION OF THE STREET FRONTAGE AND PODIUM FACADE DETAIL	C



LOCATION MAP

GFA SCHEDULE		
LEVEL	NAME	AREA
DUMARE SQ ST	RETAIL / COMMERCIAL / RESIDENTIAL GFA	626 m²
LEVEL 2	COMMERCIAL GFA	1048 m²
LEVEL 3	COMMERCIAL GFA	1138 m²
LEVEL 4	RESIDENTIAL GFA	603 m²
LEVEL 5	RESIDENTIAL GFA	603 m²
LEVEL 6	RESIDENTIAL GFA	603 m²
LEVEL 7	RESIDENTIAL GFA	604 m²
LEVEL 8	RESIDENTIAL GFA	604 m²
LEVEL 9	RESIDENTIAL GFA	604 m²
LEVEL 10	RESIDENTIAL GFA	604 m²
LEVEL 11	RESIDENTIAL GFA	604 m²
LEVEL 12	RESIDENTIAL GFA	604 m²
LEVEL 13	RESIDENTIAL GFA	604 m²
LEVEL 14	RESIDENTIAL GFA	595 m²
ROOF LEVEL	ROOF GFA	131 m²
TOTAL:		9575 m²

SITE AREA	1280 m²
PROPOSED FSR	7.46

IMPORTANT NOTES: Do not scale from drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE + PARTNERS INTERNATIONAL PTY. LTD. DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION	REVISION	DATE	DESCRIPTION	BY	
	A	16/12/2016	DRAFT DA	PD	
	B	20/12/2016	DRAFT DA FOR REVIEW	PD	
	C	21/12/2016	ISSUED FOR DA	PD	
	D	06/12/2017	ISSUED DA	CA	
	E	18/05/2018	UPDATED DA	CA	
	F	10/07/2018	UPDATED DA	CA	
	G	21/06/2018	UPDATED DA	CA	
	marchesepartners				
	Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060 Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com www.marchesepartners.com Sydney · Brisbane · Canberra · Melbourne · Adelaide · Perth London · Kuala Lumpur · Auckland ABN 20 098 552 151				
CLIENT SAXON DEVELOPMENTS		DRAWING TITLE COVER SHEET			
PROJECT CAMPBELLTOWN 8 DUMARESQ STREET		SCALE NTS	DATE 21/08/2018	DRAWN PD	CHECKED AK
JOB 16035		DRAWING DA0.01		REVISION G	

DA - APARTMENT MATRIX_INT											
UNIT No.	STUDIO	1B	2B	3B	INTERNAL AREA	INT STORAGE	EX STORAGE	SOLAR ACCESS *	CROSS VENTILATION	NO DIRECT SUNLIGHT 9.00 am - 3.00 pm	NO DIRECT SUNLIGHT 9.00 am - 3.30 pm
LEVEL 4											
UNIT 4.01			X		79 m²	5 m³	3.00 m³	YES	YES		
UNIT 4.02.A		X			60 m²	3 m³	3.00 m³			X	X
UNIT 4.03			X		77 m²	5 m³	3.00 m³		YES	X	
UNIT 4.04.L			X		77 m²	7 m³	1.00 m³	YES	YES		
UNIT 4.05			X		85 m²	4 m³	4.00 m³	YES	YES		
UNIT 4.06			X		79 m²	5 m³	3.00 m³	YES			
UNIT 4.07		X			52 m²	3 m³	3.00 m³	YES			
UNIT 4.08	X				40 m²	2 m³	2.00 m³	YES	YES		
LEVEL 5											
UNIT 5.01			X		79 m²	5 m³	3.00 m³	YES	YES		
UNIT 5.02.A		X			60 m²	3 m³	3.00 m³			X	X
UNIT 5.03			X		77 m²	5 m³	3.00 m³		YES	X	
UNIT 5.04.L			X		78 m²	7 m³	1.00 m³	YES	YES		
UNIT 5.05			X		85 m²	4 m³	4.00 m³	YES	YES		
UNIT 5.06			X		79 m²	5 m³	3.00 m³	YES	YES		
UNIT 5.07		X			52 m²	3 m³	3.00 m³	YES			
UNIT 5.08	X				40 m²	2 m³	2.00 m³	YES			
LEVEL 6											
UNIT 6.01			X		79 m²	5 m³	3.00 m³	YES	YES		
UNIT 6.02.A		X			60 m²	3 m³	3.00 m³			X	X
UNIT 6.03			X		77 m²	5 m³	3.00 m³		YES	X	
UNIT 6.04.L			X		78 m²	7 m³	1.00 m³	YES	YES		
UNIT 6.05			X		85 m²	4 m³	4.00 m³	YES	YES		
UNIT 6.06			X		79 m²	5 m³	3.00 m³	YES			
UNIT 6.07		X			52 m²	3 m³	3.00 m³	YES			
UNIT 6.08	X				40 m²	2 m³	2.00 m³	YES	YES		
LEVEL 7											
UNIT 7.01			X		79 m²	5 m³	3.00 m³	YES	YES		
UNIT 7.02.A		X			60 m²	3 m³	3.00 m³			X	X
UNIT 7.03			X		77 m²	5 m³	3.00 m³		YES	X	
UNIT 7.04.L			X		78 m²	7 m³	1.00 m³	YES	YES		
UNIT 7.05			X		85 m²	4 m³	4.00 m³	YES	YES		
UNIT 7.06			X		79 m²	5 m³	3.00 m³	YES			
UNIT 7.07		X			52 m²	3 m³	3.00 m³	YES			
UNIT 7.08	X				40 m²	2 m³	2.00 m³	YES	YES		
LEVEL 8											
UNIT 8.01			X		79 m²	5 m³	3.00 m³	YES	YES		
UNIT 8.02.A		X			60 m²	3 m³	3.00 m³			X	X
UNIT 8.03			X		77 m²	5 m³	3.00 m³		YES	X	
UNIT 8.04.L			X		78 m²	7 m³	1.00 m³	YES	YES		
UNIT 8.05			X		85 m²	4 m³	4.00 m³	YES	YES		
UNIT 8.06			X		79 m²	5 m³	3.00 m³	YES			
UNIT 8.07		X			52 m²	3 m³	3.00 m³	YES			
UNIT 8.08	X				40 m²	2 m³	2.00 m³	YES	YES		
LEVEL 9											
UNIT 9.01			X		79 m²	5 m³	3.00 m³	YES	YES		
UNIT 9.02.A		X			60 m²	3 m³	3.00 m³			X	X
UNIT 9.03			X		77 m²	5 m³	3.00 m³		YES	X	
UNIT 9.04.L			X		78 m²	7 m³	1.00 m³	YES	YES		
UNIT 9.05			X		85 m²	4 m³	4.00 m³	YES	YES		
UNIT 9.06			X		79 m²	5 m³	3.00 m³	YES			
UNIT 9.07		X			52 m²	3 m³	3.00 m³	YES			
UNIT 9.08	X				40 m²	2 m³	2.00 m³	YES	YES		
LEVEL 10											
UNIT 10.01			X		79 m²	5 m³	3.00 m³	YES	YES		
UNIT 10.02.A		X			60 m²	3 m³	3.00 m³			X	X

CAR PARKING

BASEMENT 1 -4

BASEMENT 1 : 30
BASEMENT 2 : 31
BASEMENT 3 : 31
BASEMENT 4 : 34

TOTAL : 126

COMMON OPEN SPACE

REQUIRED COMMON OPEN SPCAE 25 %
OF THE SITE AREA

PROPOSED COMMON OPEN IS LOCATED
ON THE ROOF TERRACE, REFER TO
LANDSCAPE CONSULTANT'S DRAWINGS.

TOTAOL COS = 450 SQM

PROPOSED COS = 35.5 %

DA - APARTMENT MATRIX_INT												
UNIT No.	STUDIO	1B	2B	3B	INTERNAL AREA	INT STORAGE	EX STORAGE	SOLAR ACCESS *	CROSS VENTILATION	NO DIRECT SUNLIGHT 9.00 am - 3.00 pm	NO DIRECT SUNLIGHT 9.00 am - 3.30 pm	
UNIT 10.03			X		77 m²	5 m³	3.00 m³		YES	X		
UNIT 10.04.L			X		78 m²	7 m³	1.00 m³	YES	YES			
UNIT 10.05			X		85 m²	4 m³	4.00 m³	YES	YES			
UNIT 10.06			X		79 m²	5 m³	3.00 m³	YES				
UNIT 10.07		X			52 m²	3 m³	3.00 m³	YES	YES			
UNIT 10.08	X				40 m²	2 m³	2.00 m³	YES	YES			
LEVEL 11												
UNIT 11.01			X		79 m²	5 m³	3.00 m³	YES	YES			
UNIT 11.02.A		X			60 m²	3 m³	3.00 m³			X	X	
UNIT 11.03			X		77 m²	5 m³	3.00 m³		YES	X		
UNIT 11.04.L			X		78 m²	7 m³	1.00 m³	YES	YES			
UNIT 11.05			X		85 m²	4 m³	4.00 m³	YES	YES			
UNIT 11.06			X		79 m²	5 m³	3.00 m³	YES				
UNIT 11.07		X			52 m²	3 m³	3.00 m³	YES				
UNIT 11.08	X				40 m²	2 m³	2.00 m³	YES	YES			
LEVEL 12												
UNIT 12.01			X		79 m²	5 m³	3.00 m³	YES	YES			
UNIT 12.02.A		X			60 m²	3 m³	3.00 m³			X	X	
UNIT 12.03			X		77 m²	5 m³	3.00 m³		YES	X		
UNIT 12.04.L			X		78 m²	7 m³	1.00 m³	YES	YES			
UNIT 12.05			X		85 m²	4 m³	4.00 m³	YES	YES			
UNIT 12.06			X		79 m²	5 m³	3.00 m³	YES				
UNIT 12.07		X			52 m²	3 m³	3.00 m³	YES				
UNIT 12.08	X				40 m²	2 m³	2.00 m³	YES	YES			
LEVEL 13												
UNIT 13.01			X		79 m²	5 m³	3.00 m³	YES	YES			
UNIT 13.02		X			60 m²	3 m³	3.00 m³			X	X	
UNIT 13.03			X		77 m²	5 m³	3.00 m³		YES	X		
UNIT 13.04			X		78 m²	7 m³	1.00 m³	YES	YES			
UNIT 13.05			X		85 m²	4 m³	4.00 m³	YES	YES			
UNIT 13.06			X		79 m²	5 m³	3.00 m³	YES	YES			
UNIT 13.07		X			52 m²	3 m³	3.00 m³	YES				
UNIT 13.08	X				40 m²	2 m³	2.00 m³	YES				
LEVEL 14												
UNIT 14.01				X	105 m²	5 m³	5.00 m³	YES	YES			
UNIT 14.02				X	116 m²	6 m³	5.00 m³	YES				
UNIT 14.03				X	101 m²	8 m³	2.00 m³	YES	YES			
UNIT 14.04				X	130 m²	6 m³	4.00 m³	YES	YES			
UNIT 14.05			X		80 m²	4 m³	4.00 m³	YES				
APARTMENTS												
10	11.8 %	20	51	4	85	23.5%						11.7 %
APARTMENT MIX					100 %							
SOLAR ACCESS (REQUIRED 70 %)												
65												
SOLAR ACCESS PROPOSED %												
76.5 %												
CROSS VENT (REQUIRED 60 %)												
53												
CROSS VENT PROPOSED %												
62.3 %												

A : ADAPTABLE UNITS

L : SILVER LEVEL OF THE LIVABLE HOUSING GUIDELINES

* : APARTMENTS WITH WITH SOLAR ACCESS OF MIN. 2 HR ON 21ST JUNE BETWEEN 9.00AM TILL 3.00PM

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DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION	BY
A	20/12/2016	DRAFT DA FOR REVIEW	PD
B	21/12/2016	ISSUED FOR DA	PD
C	08/12/2017	ISSUED DA	CA
D	18/05/2018	UPDATED DA	CA
E	10/07/2018	UPDATED DA	CA

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CLIENT
SAXON DEVELOPMENTS

DRAWING TITLE
DATA SHEET

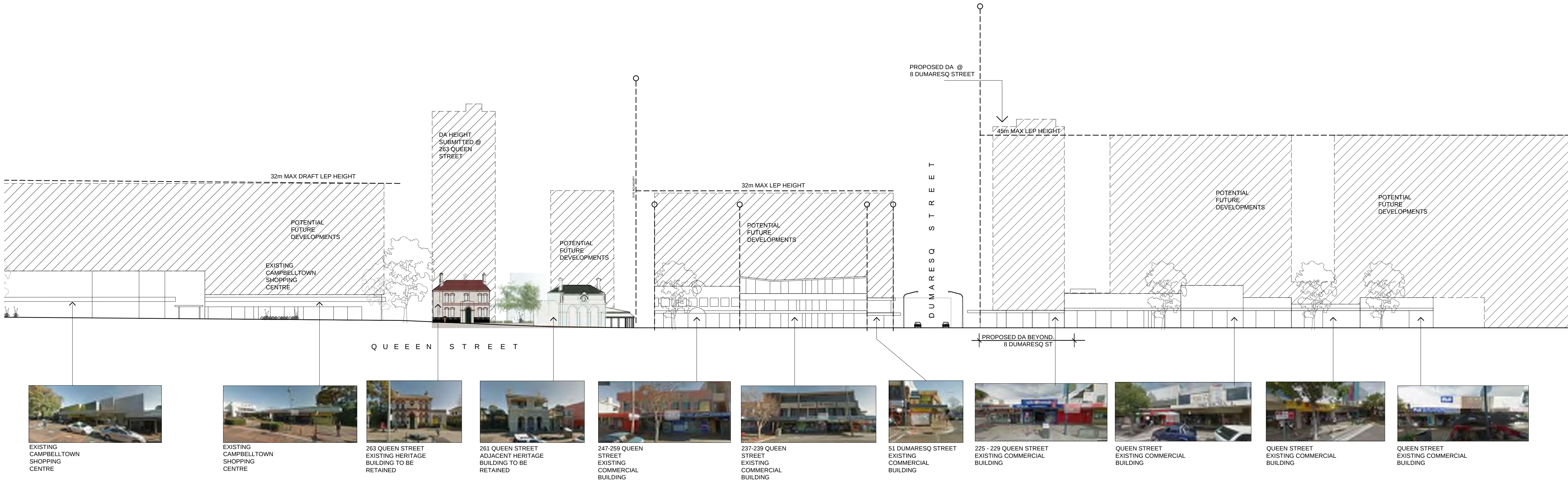
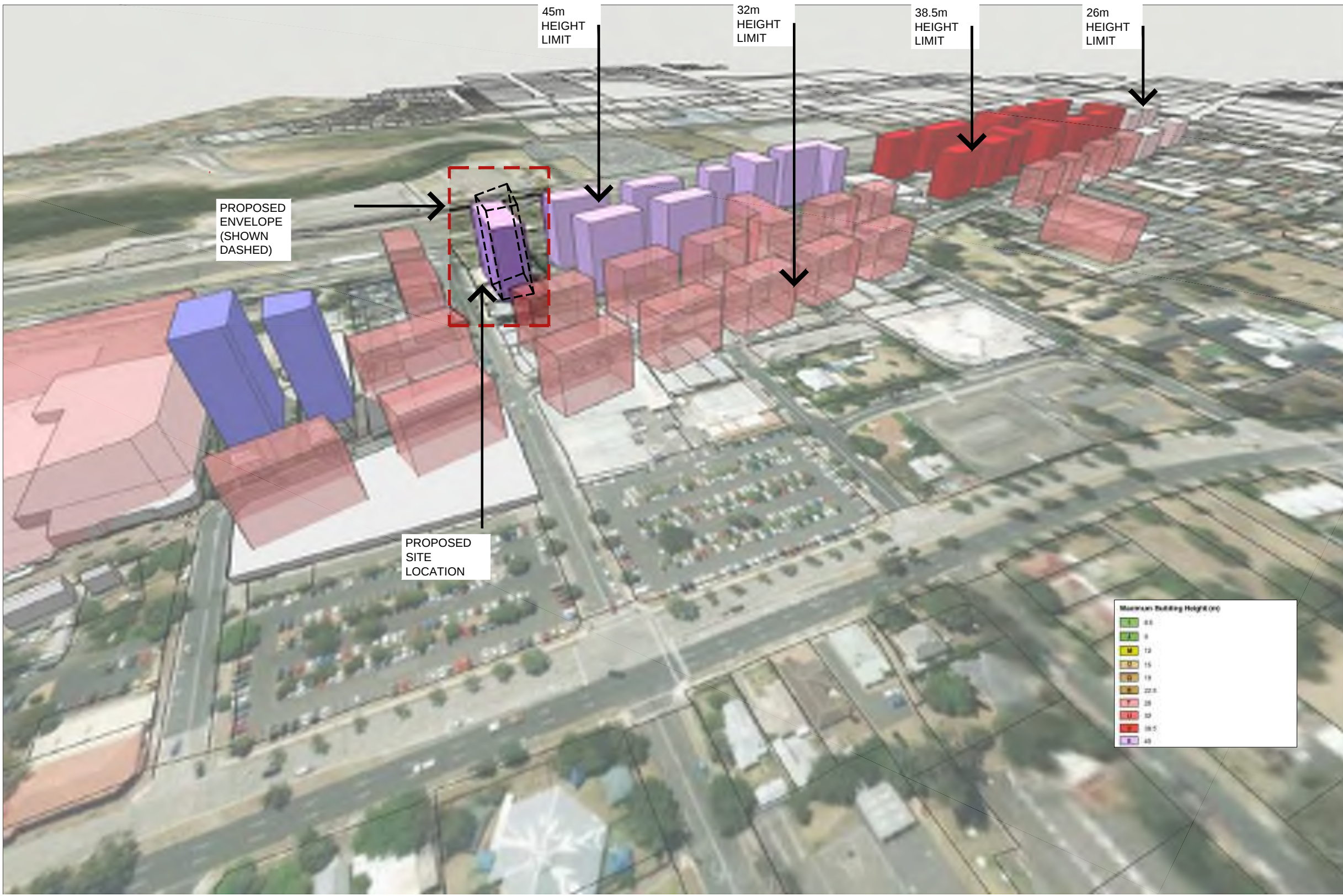
PROJECT
CAMPBELLTOWN
8 DUMARESQ STREET

SCALE NTS	DATE 10/07/2018	DRAWN PD	CHECKED AK
JOB 16035	DRAWING DA0.02	REVISION E	



IMPORTANT NOTES: Do not scale from drawings. All dimensions shall be checked on site before commencement of work. All discrepancies shall be brought to the attention of the Architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY. LTD. DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION	REVISION	DATE	DESCRIPTION	BY	marchesepartners Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com www.marchesepartners.com Sydney · Brisbane · Canberra · Melbourne · Adelaide · Perth London · Kuala Lumpur · Auckland ABN 20 098 552 151	051020	CLIENT SAXON DEVELOPMENTS	DRAWING TITLE SITE ANALYSIS PLAN				
	A	2016.12.19	ISSUED FOR DA	EK								
	B	2018.12.08	ISSUED FOR DA	CA								
	C	2018.05.18	UPDATED DA	CA								
						PROJECT 8 DUMARESQ STREET, CAMPBELLTOWN	SCALE 1:500@A1 1:1000@A3	DATE 10-07-2018	DRAWN CA	CHECKED AK		
						JOB 16035	DRAWING DA1.01	REVISION D				

CAMPBELLTOWN LEP HOB MAP 2015



IMPORTANT NOTES:
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DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION	BY
A	2018.12.19	ISSUED FOR DA	EK
B	2018.12.08	ISSUED FOR DA	CA
C	2018.05.18	UPDATED DA	CA

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CLIENT
SAXON DEVELOPMENTS

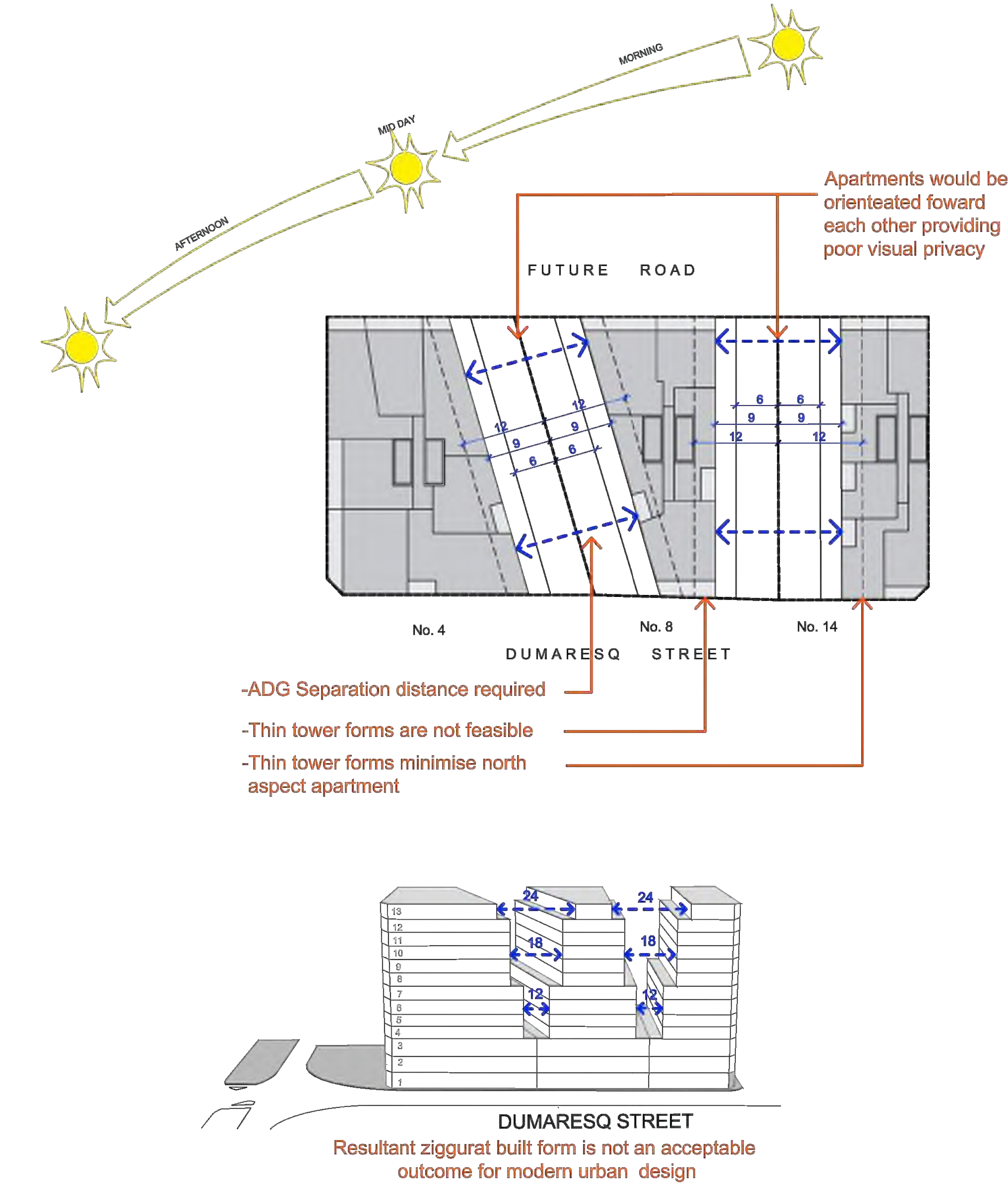
PROJECT
**8 DUMARESQ STREET,
CAMPBELLTOWN**

DRAWING TITLE
STREETSCAPE ANALYSIS

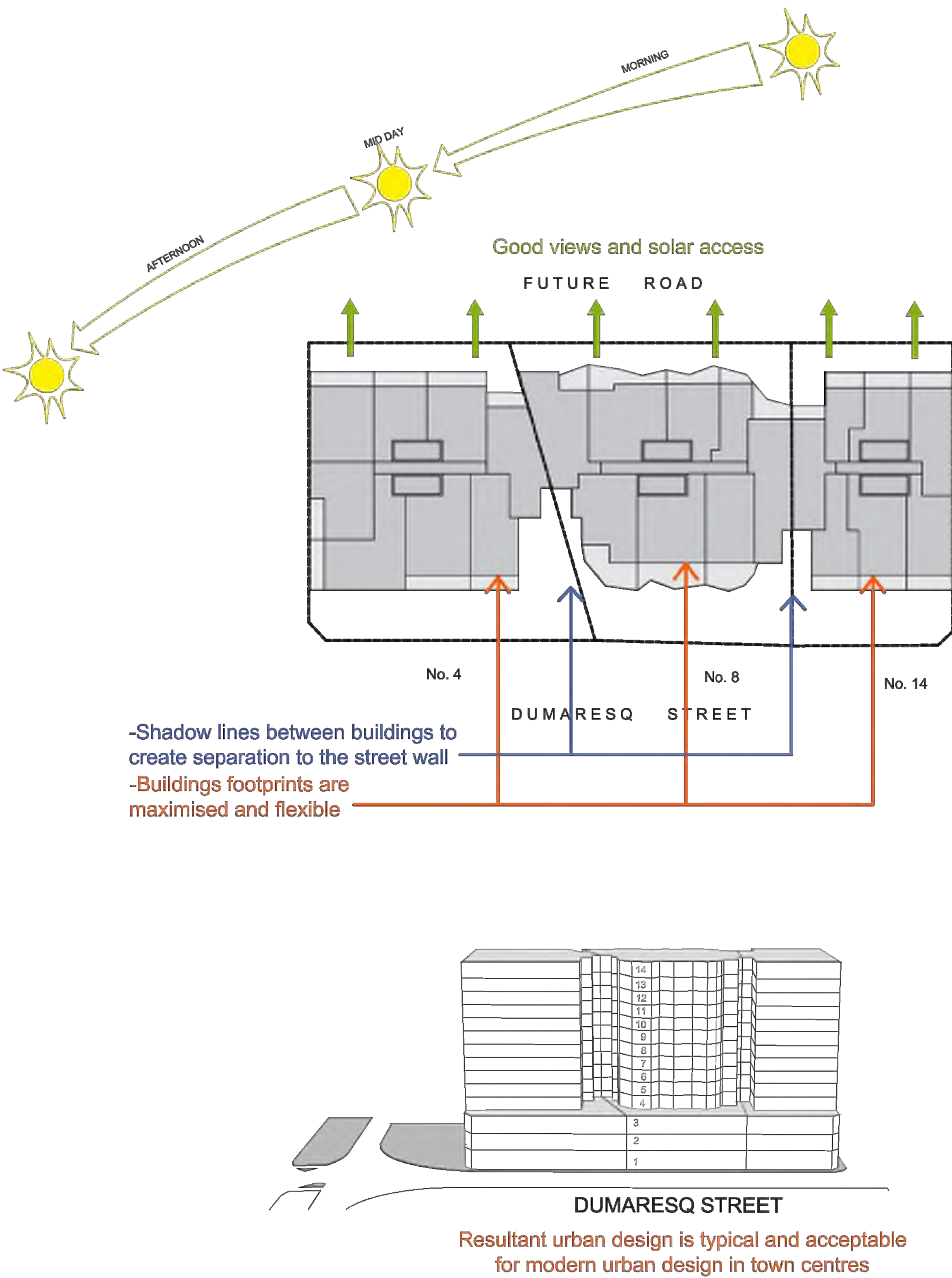
SCALE	DATE	DRAWN	CHECKED
NA	10-07-2018	CA	AK
JOB	DRAWING	REVISION	
16035	DA1.02	D	

In order to determine the optimum built form for this site, it is important to consider the future built form, outcome for the neighbouring sites at No.4 and No. 14 Dumaresq St.

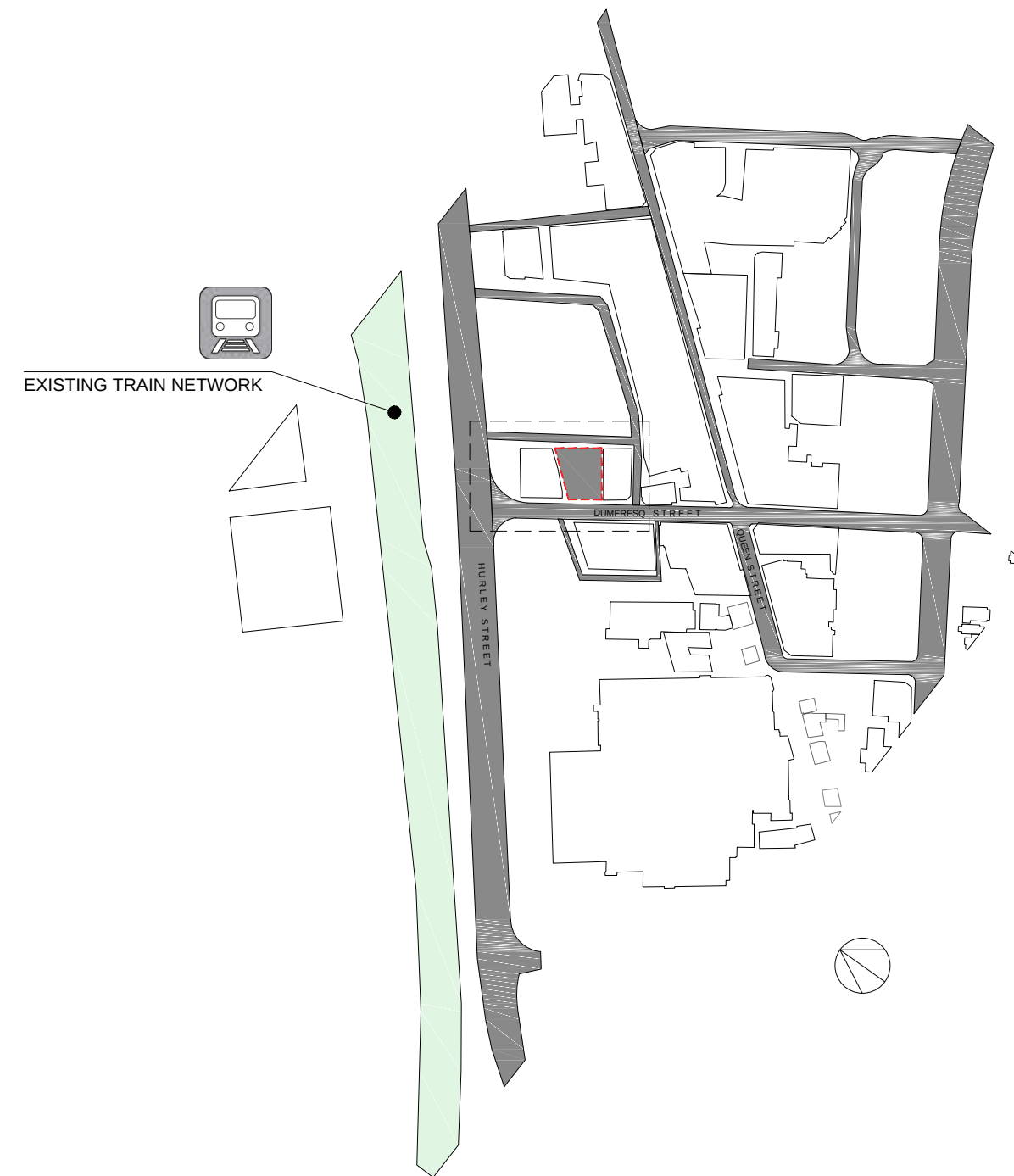
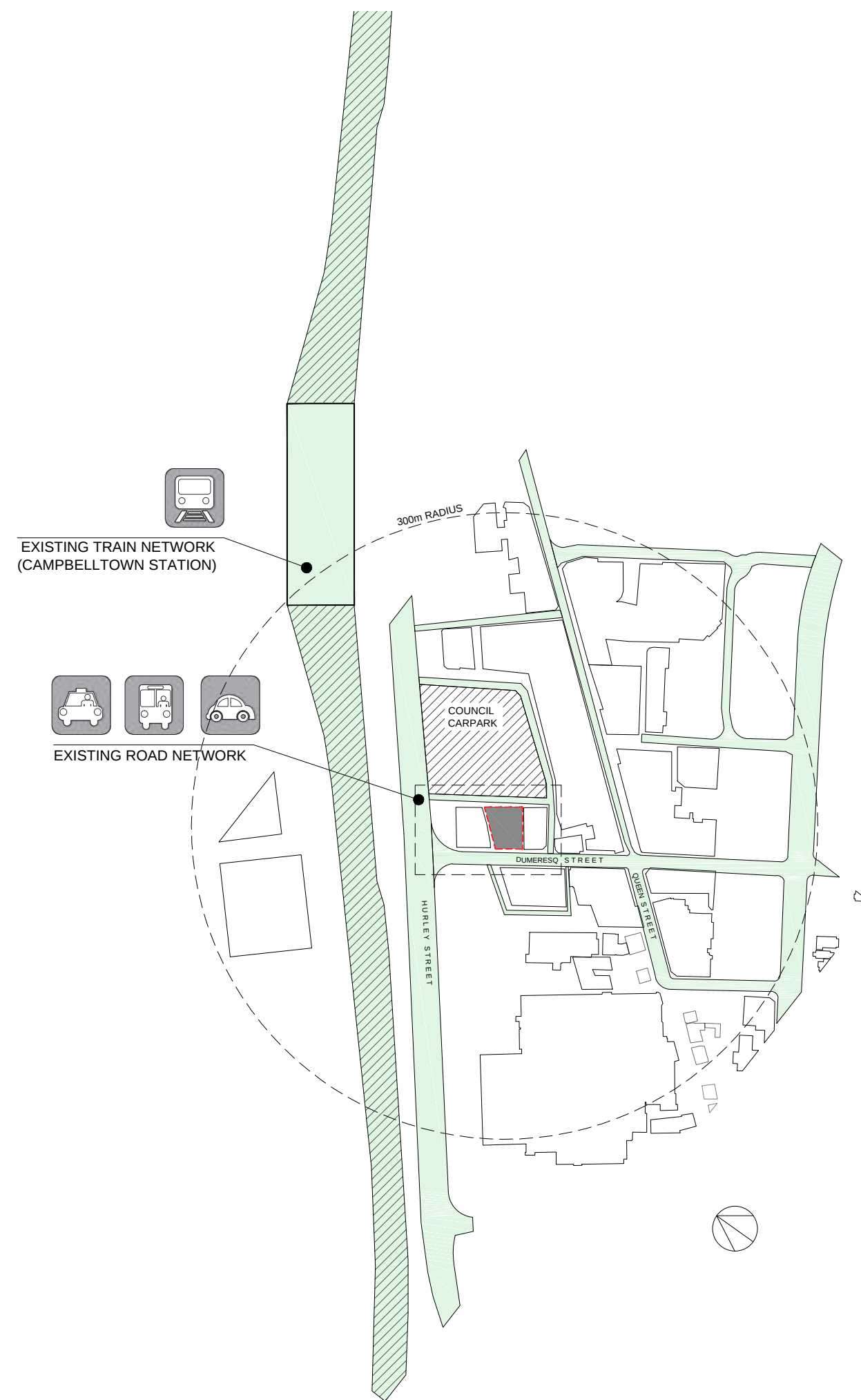
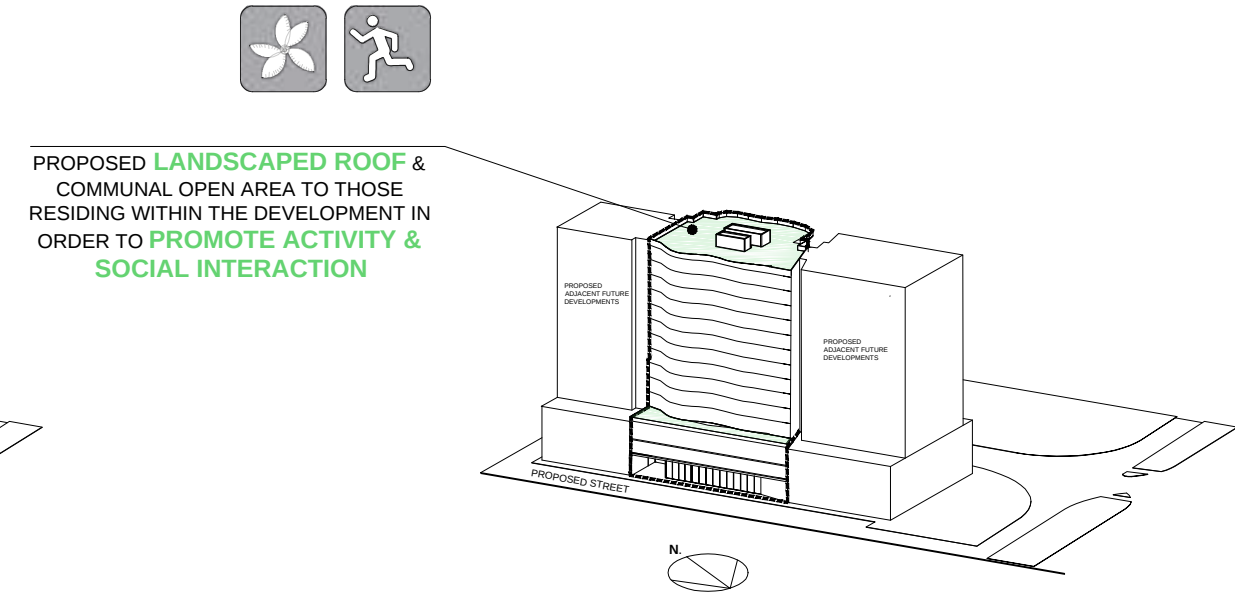
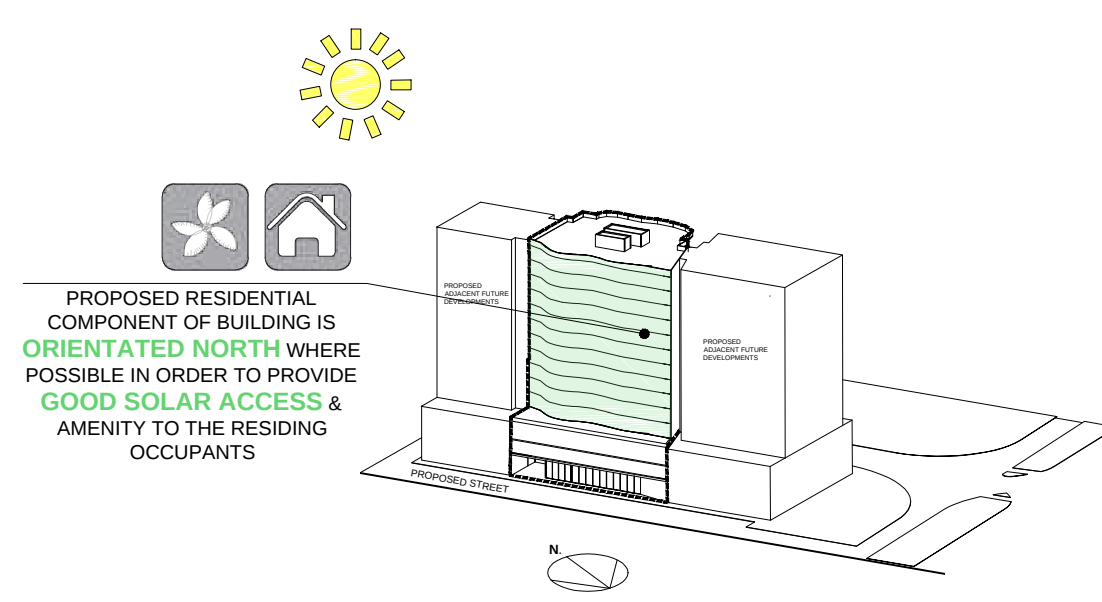
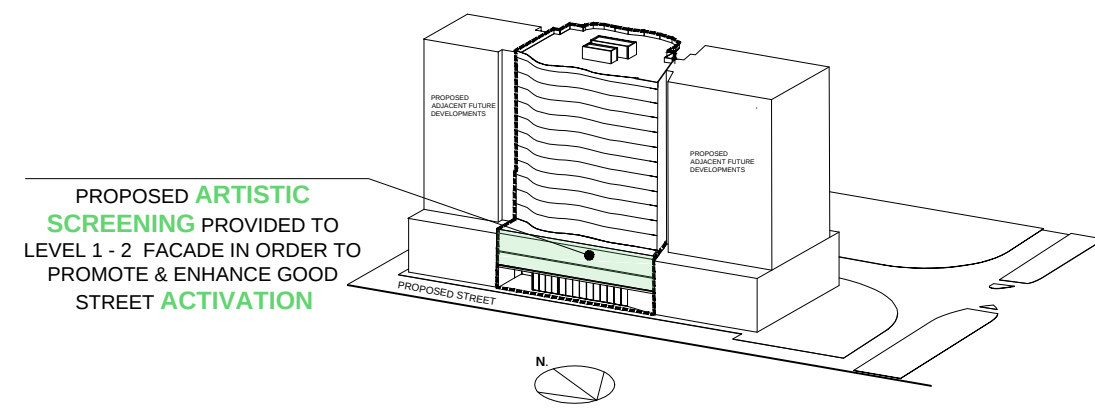
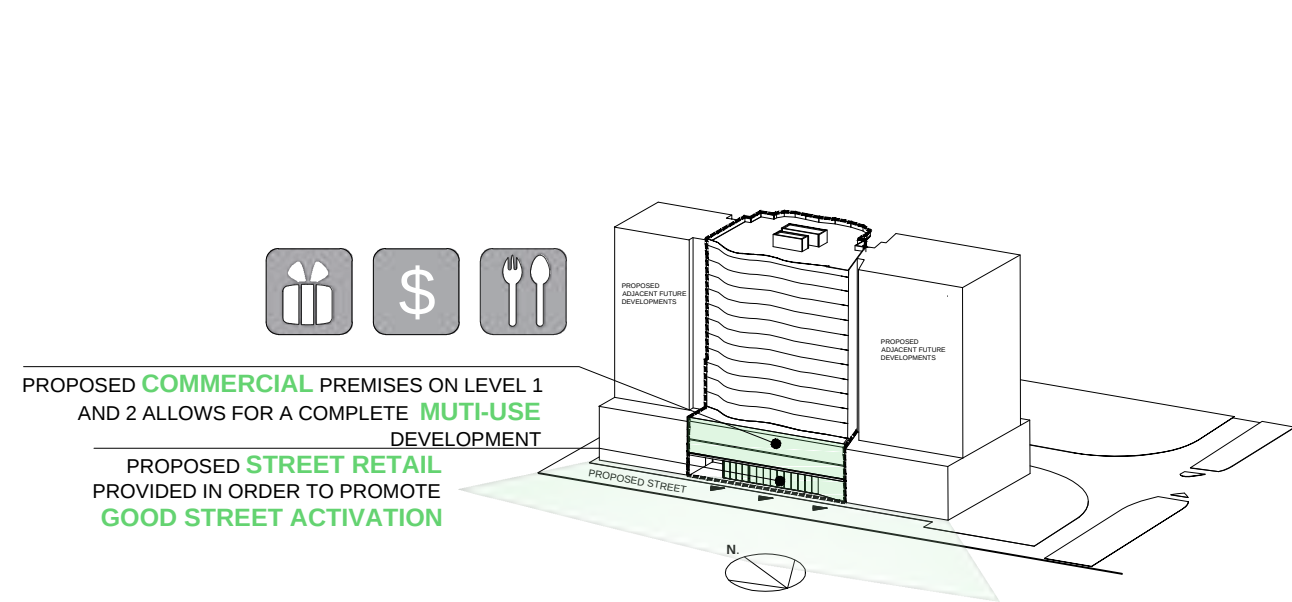
OPTION 1: North-South orientation buildings



OPTION 2: East - West orientation buildings



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	A	2017.12.01	ISSUED FOR DA	CA
	B	2018.05.18	UPDATED DA	CA
marchesepartners Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com www.marchesepartners.com Sydney • Brisbane • Canberra • Melbourne • Adelaide • Perth London • Kuala Lumpur • Auckland ABN 20 098 552 151				
CLIENT SAXON DEVELOPMENTS			DRAWING TITLE INDICATIVE MASTERPLAN	
PROJECT 8 DUMARESQ STREET, CAMPBELLTOWN			SCALE 1:200@A1 1:400@A3	DATE 10-07-2018
			DRAWN CA	CHECKED AK
JOB 16035			DRAWING DA1.02B	REVISION C

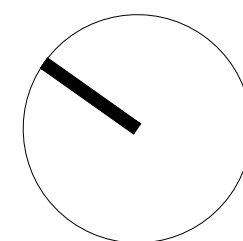


IMPORTANT NOTES:			
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REVISION	DATE	DESCRIPTION	BY
A	2016.12.19	ISSUED FOR DA	EK
B	2018.12.08	ISSUED FOR DA	CA
C	2018.05.18	UPDATED DA	CA

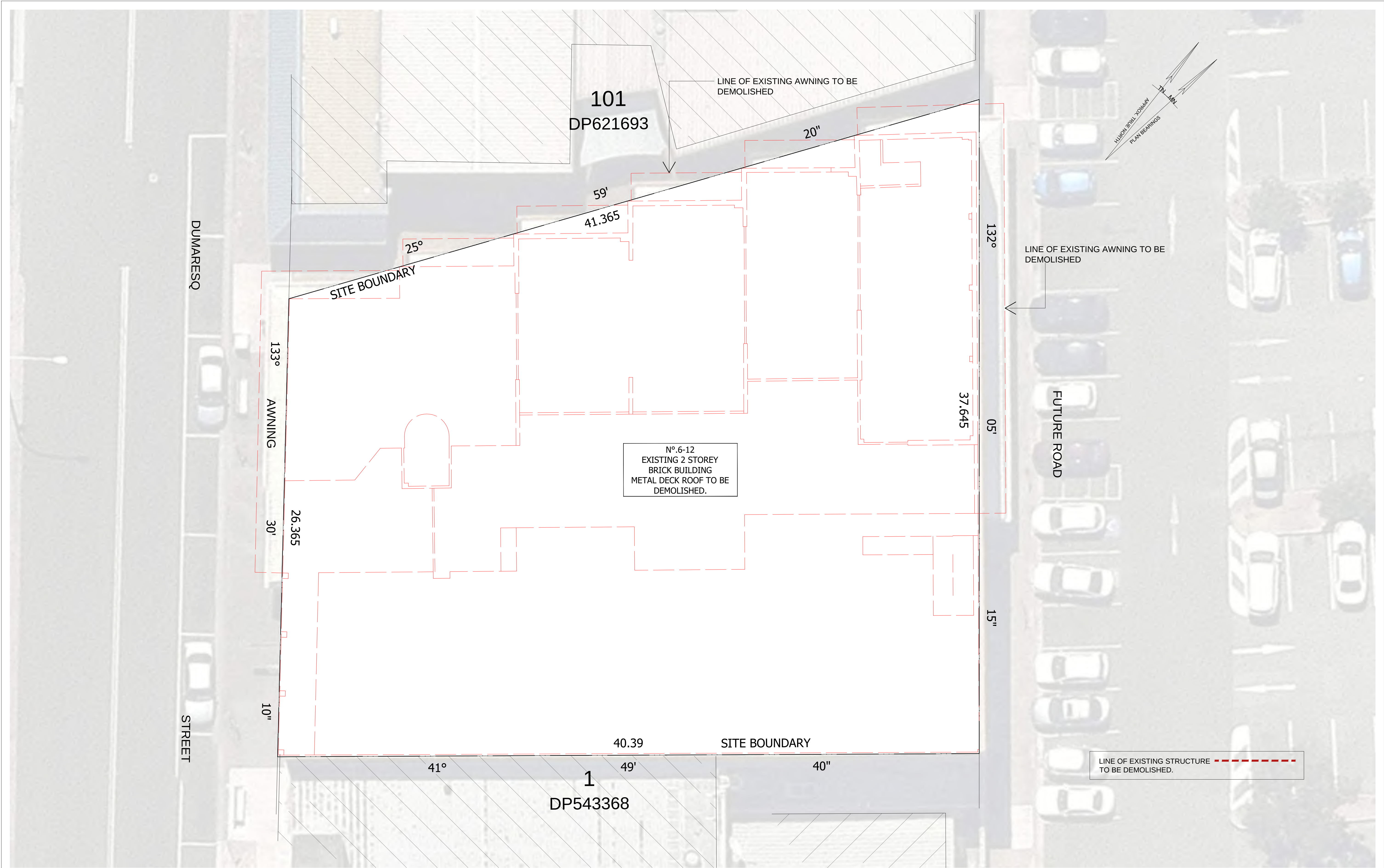
DEVELOPMENT
APPLICATION
NOT FOR CONSTRUCTION

marchesepartners

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ABN 20 098 552 151



CLIENT		DRAWING TITLE			
SAXON DEVELOPMENTS		SITE DIAGRAMS			
PROJECT		SCALE	DATE	DRAWN	CHECKED
8 DUMARESQ STREET, CAMPBELLTOWN		NA ----	10-07-2018	CA	AK
JOB	DRAWING	REVISION			
16035	DA1.03			D	



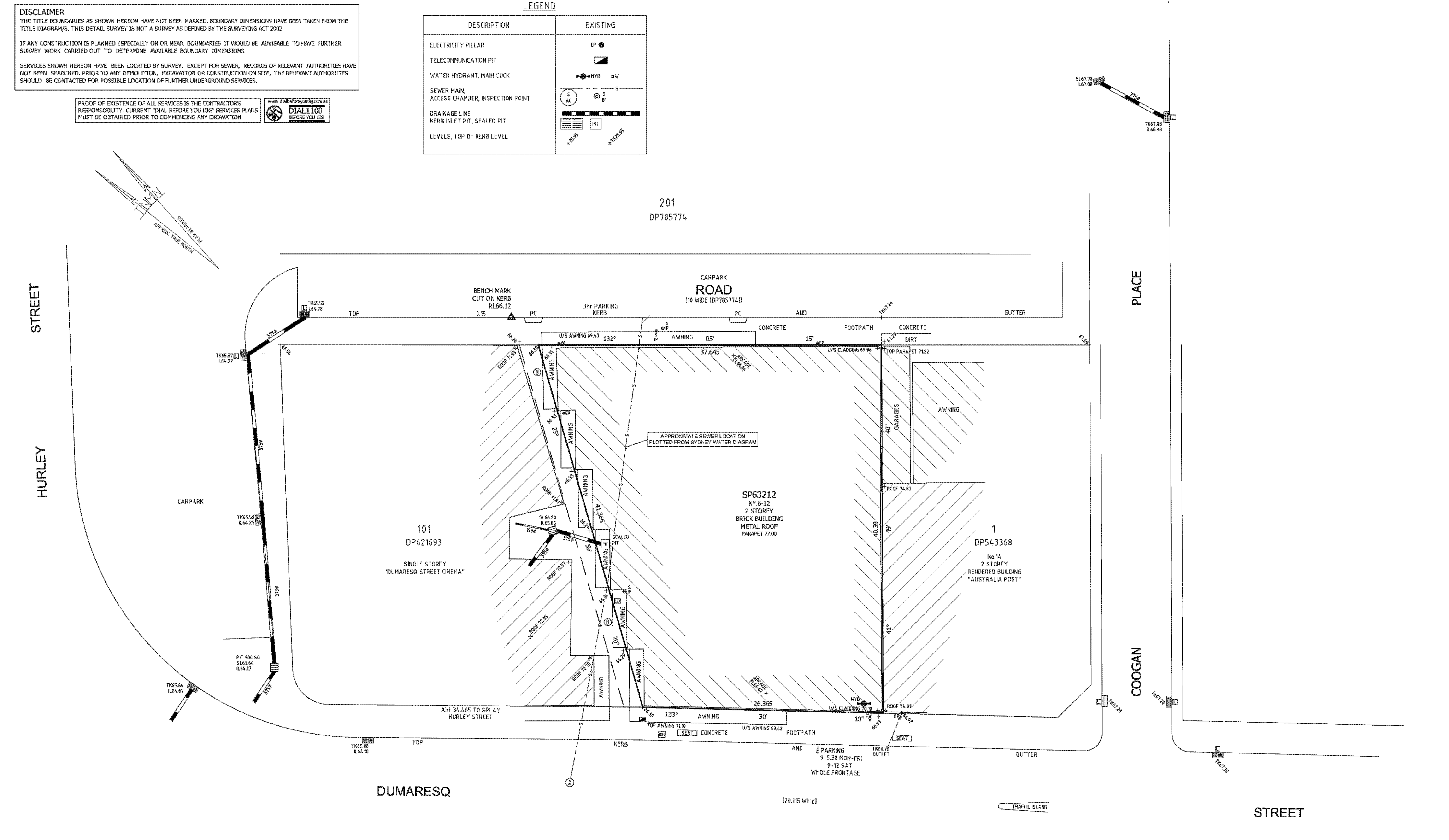
IMPORTANT NOTES: Do not scale from drawings. All dimensions shall be checked on site before commencement of work. All discrepancies shall be brought to the attention of the Architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY. LTD. DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION	REVISION	DATE	DESCRIPTION	BY	marchesepartners Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com www.marchesepartners.com Sydney · Brisbane · Canberra · Melbourne · Adelaide · Perth London · Kuala Lumpur · Auckland ABN 20 098 552 151	 	CLIENT SAXON DEVELOPMENTS		DRAWING TITLE SITE DEMOLITION PLAN			
	PROJECT 8 DUMARESQ STREET, CAMPBELLTOWN		SCALE 1:100@A1 1:200@A3	DATE 10-07-2018					DRAWN CA	CHECKED AK		
			JOB 16035	DRAWING DA1.04			REVISION C					

DISCLAIMER
THE TITLE BOUNDARIES AS SHOWN HEREON HAVE NOT BEEN MARKED. BOUNDARY DIMENSIONS HAVE BEEN TAKEN FROM THE TITLE DIAGRAM/S. THIS DETAIL SURVEY IS NOT A SURVEY AS DEFINED BY THE SURVEYING ACT 2002.
IF ANY CONSTRUCTION IS PLANNED ESPECIALLY ON OR NEAR BOUNDARIES IT WOULD BE ADVISABLE TO HAVE FURTHER SURVEY WORK CARRIED OUT TO DETERMINE AVAILABLE BOUNDARY DIMENSIONS.
SERVICES SHOWN HEREON HAVE BEEN LOCATED BY SURVEY. EXCEPT FOR SEWER, RECORDS OF RELEVANT AUTHORITIES HAVE NOT BEEN SEARCHED. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON SITE, THE RELEVANT AUTHORITIES SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES.

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.



DESCRIPTION	EXISTING
ELECTRICITY PILLAR	EP
TELECOMMUNICATION PIT	TP
WATER HYDRANT, MAIN COCK	HYD
SEWER MAIN, ACCESS CHAMBER, INSPECTION POINT	S AC IP
DRAINAGE LINE KERB INLET PIT, SEALED PIT	DL PIT
LEVELS, TOP OF KERB LEVEL	



Ⓢ EASEMENT FOR OVERHANG 2 WIDE (SP63212)
(DOES NOT APPEAR ON CURRENT TITLE)

L.G.A:	CAMPBELLTOWN	SCALE	1:200	A1
LOCALITY:	CAMPBELLTOWN	PROPERTY DESCRIPTION:	SP63212	
SURVEY	ASH	DRAWN	GJA	DATUM & ORIGIN OF LEVELS
DESIGN	APPROVED	AMH	AHD	SSM81029 RL65.807

PLAN SHOWING LEVELS AND DETAIL				
DATE	SHEET	DRAWING NUMBER	AMEND	FILE: No: 58909
15/5/18	1 OF 1	58909 LD2.dwg		

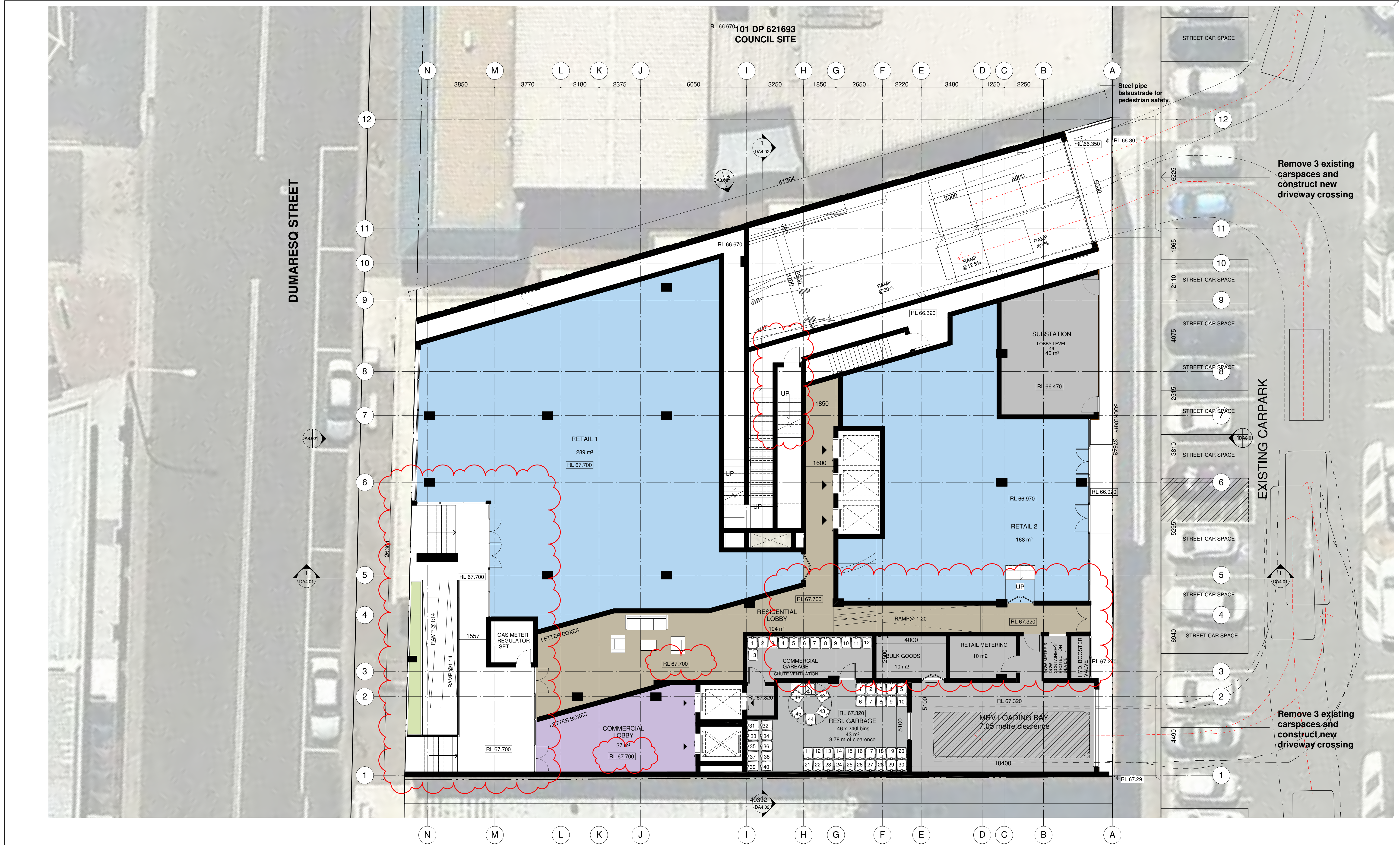
REVISION	DATE	DESCRIPTION	BY
A	2018.05.18	UPDATED DA	CA

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

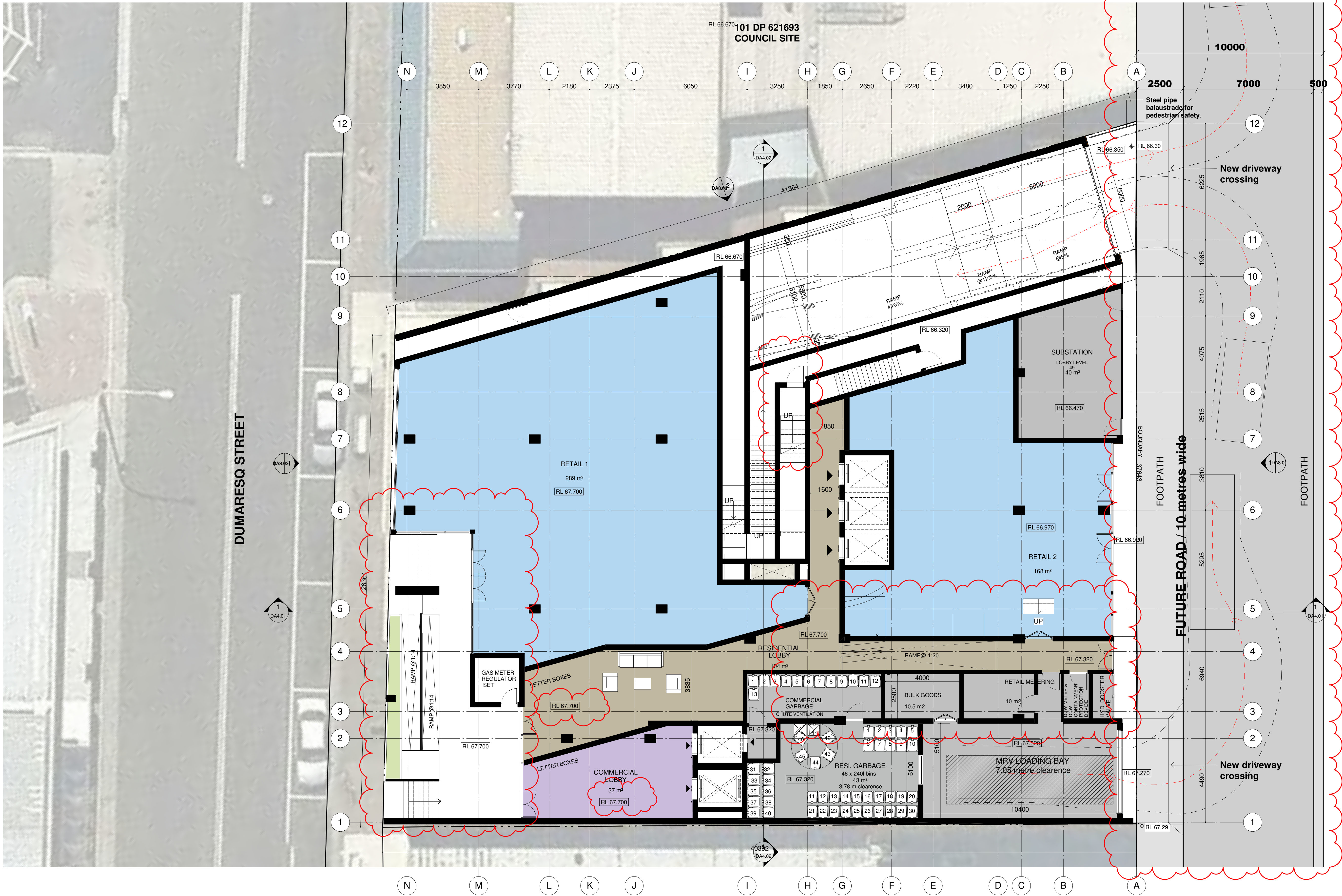
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	CLIENT SAXON DEVELOPMENTS		DRAWING TITLE SURVEY			
	PROJECT 8 DUMARESQ STREET, CAMPBELLTOWN		SCALE 1:200@A1 1:400@A3	DATE 10-07-2018	DRAWN CA	CHECKED AK
			JOB 16035	DRAWING DA1.04B		REVISION B



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	A	25/11/2016	ISSUED FOR REVIEW	PD			PROJECT CAMPBELLTOWN				SCALE 1:100 @A1 1:200 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
	B	09/12/2016	ISSUED FOR REVIEW	PD			8 DUMARESQ STREET				JOB 16035	DRAWING DA2.01	REVISION M	
	C	16/12/2016	DRAFT DA	PD										
	D	20/12/2016	DRAFT DA FOR REVIEW	PD										
	E	21/12/2016	ISSUED FOR DA	PD										
	F	01/05/2017	ISSUED FOR CLIENT CHANGES	NK										
	G	16/11/2017	ISSUED FOR CLIENT CHANGES	CA										
	H	28/11/2017	ISSUED FOR REVIEW	CA										
	J	08/12/2017	ISSUED DA	CA										
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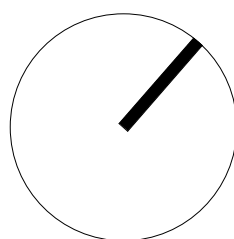


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A	18/05/2018	UPDATED DA	CA
B	10/07/2018	UPDATED DA	CA
C	21/06/2018	UPDATED DA	CA

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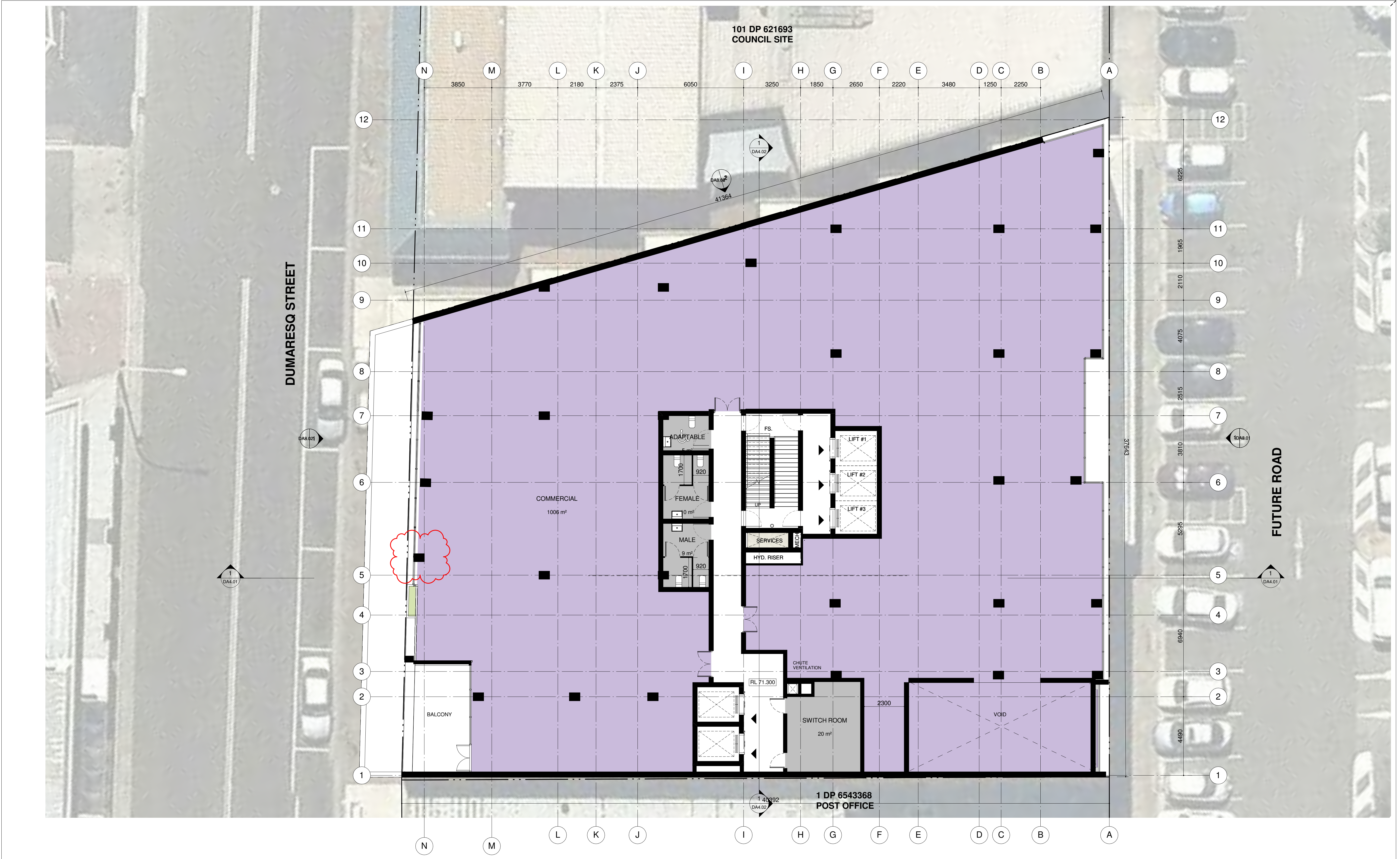


CLIENT
SAXON DEVELOPMENTS

PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
LEVEL 1 - FUTURE ROAD

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JOB	DRAWING	REVISION	
16035	DA2.01B	C	

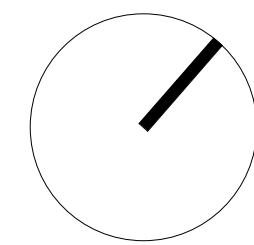


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REVISION	DATE	DESCRIPTION	BY
A	25/11/2016	ISSUED FOR REVIEW	PD
B	08/12/2016	ISSUED FOR REVIEW	PD
C	16/12/2016	DRAFT DA	PD
D	20/12/2016	DRAFT DA FOR REVIEW	PD
E	21/12/2016	ISSUED FOR DA	PD
F	01/05/2017	ISSUED FOR CLIENT CHANGES	NK
G	11/05/2017	ISSUED FOR CLIENT CHANGES 05-05-2017	WX
H	16/11/2017	ISSUED FOR CLIENT CHANGES	CA
J	28/11/2017	ISSUED FOR REVIEW	CA
K	08/12/2017	ISSUED DA	CA
L	18/05/2018	UPDATED DA	CA
M	10/07/2018	UPDATED DA	CA
N	21/08/2018	UPDATED DA	CA

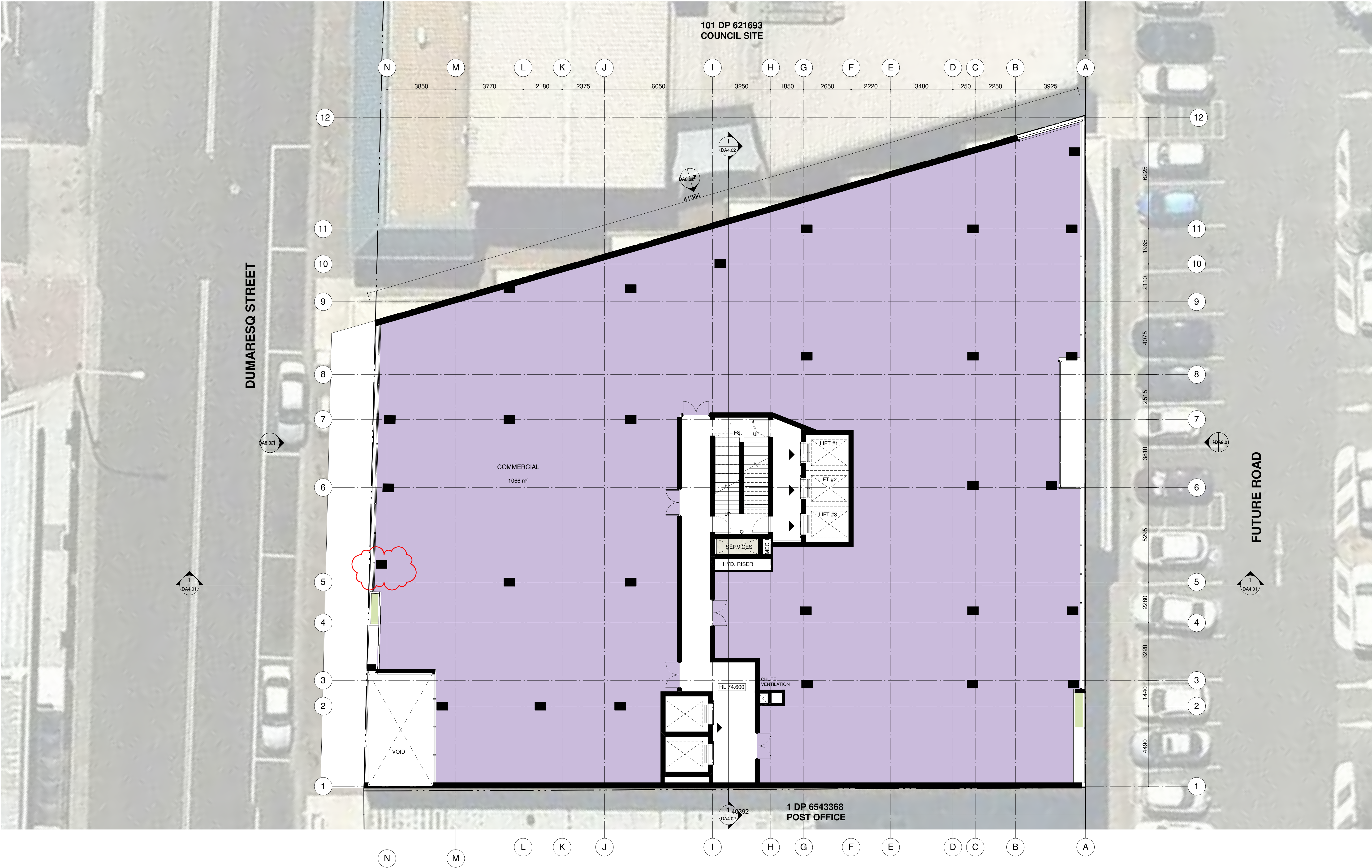
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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

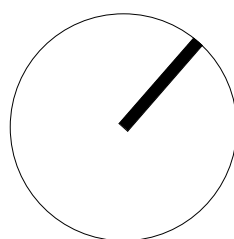
DRAWING TITLE			
LEVEL 2			
SCALE 1:100 @A1 1:200 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA2.05	REVISION N	



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REVISION	DATE	DESCRIPTION	BY
A	01/05/2017	ISSUED FOR CLIENT CHANGES	NK
B	16/11/2017	ISSUED FOR CLIENT CHANGES	CA
C	08/12/2017	ISSUED DA	CA
D	18/05/2018	UPDATED DA	CA
E	10/07/2018	UPDATED DA	CA
F	21/08/2018	UPDATED DA	CA

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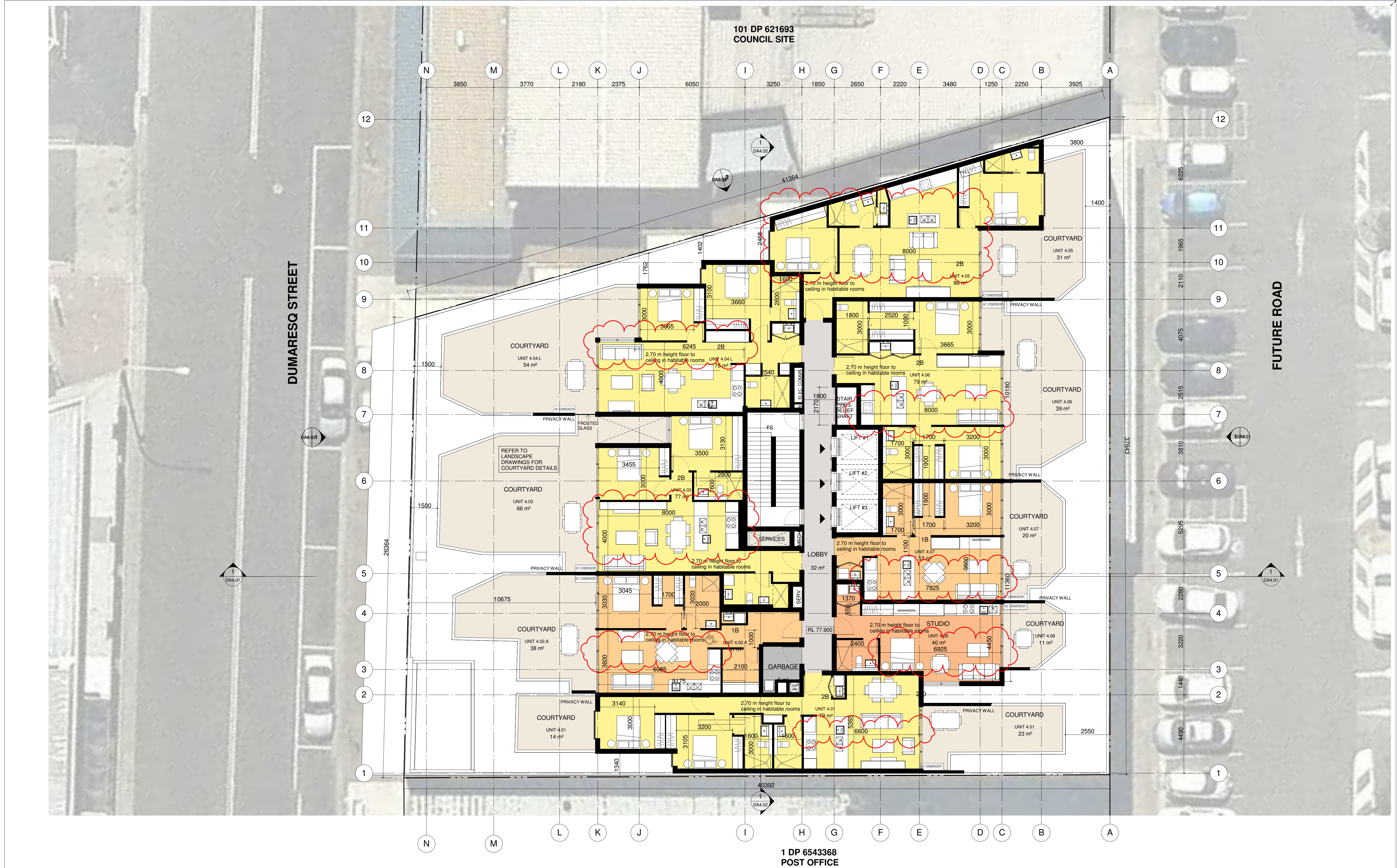


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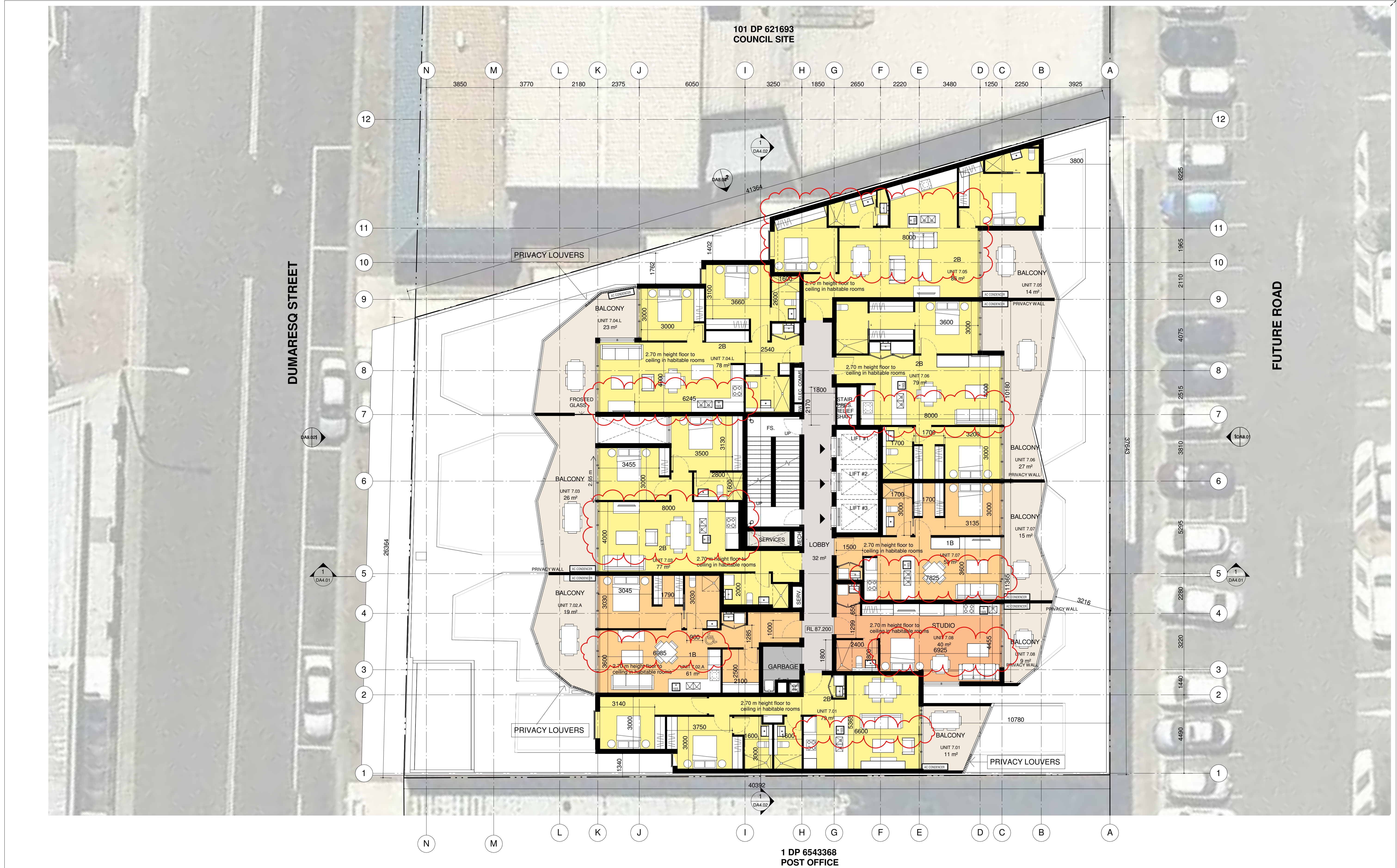
PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
LEVEL 3

SCALE 1:100 @A1 1:200 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA2.06	REVISION F	



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	A	16/12/2016	DRAFT DA	PD			PROJECT CAMPBELLTOWN 8 DUMARESQ STREET	SCALE 1 : 100 @A1 1 : 200 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK			
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	C	21/12/2016	ISSUED FOR DA	PD										
	D	10/03/2017	ISSUED FOR MARKETING CHANGES	PD										
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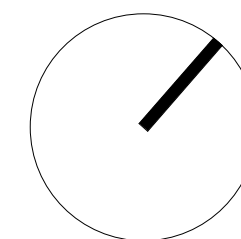


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B	26/11/2016	ISSUED FOR REVIEW	PD
C	08/12/2016	ISSUED FOR REVIEW	PD
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G	01/05/2017	ISSUED FOR CLIENT CHANGES	NK
H	11/05/2017	ISSUED FOR CLIENT CHANGES 05-05-2017	WX
J	16/11/2017	ISSUED FOR CLIENT CHANGES	CA
K	08/12/2017	ISSUED DA	CA
M	18/05/2018	UPDATED DA	CA
N	10/07/2018	UPDATED DA	CA

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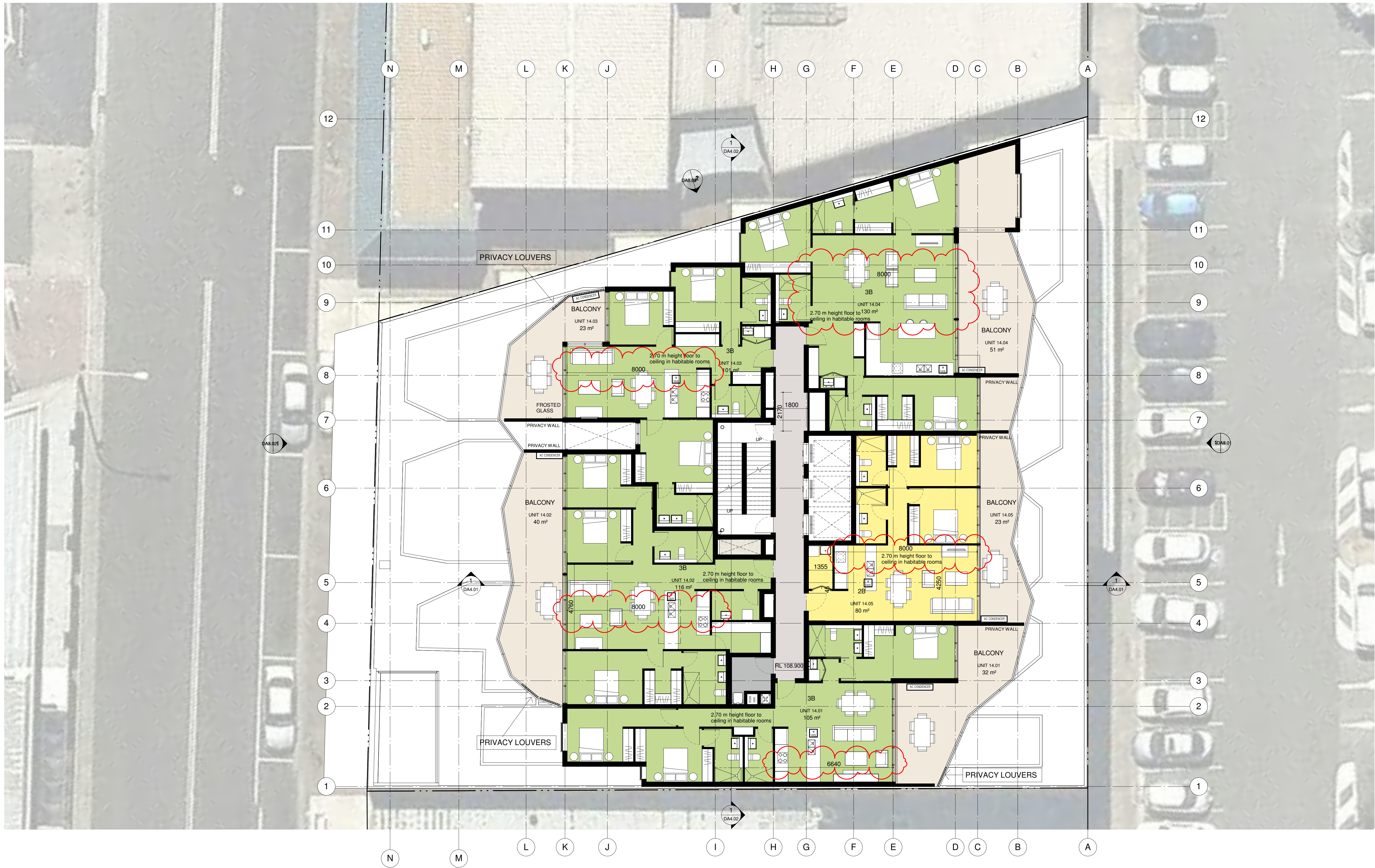


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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
LEVEL 5-13

SCALE 1:100 @A1 1:200 @A3	DATE 10/07/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA2.08	REVISION N	

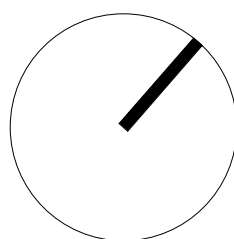


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REVISION	DATE	DESCRIPTION	BY
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B	25/11/2016	ISSUED FOR REVIEW	PD
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D	16/12/2016	DRAFT DA	PD
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G	10/03/2017	ISSUED FOR MARKETING CHANGES	PD
H	01/05/2017	ISSUED FOR CLIENT CHANGES	NK
J	11/05/2017	ISSUED FOR CLIENT CHANGES 05-05-2017	WX
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L	08/12/2017	ISSUED DA	CA
M	18/05/2018	UPDATED DA	CA
N	10/07/2018	UPDATED DA	CA

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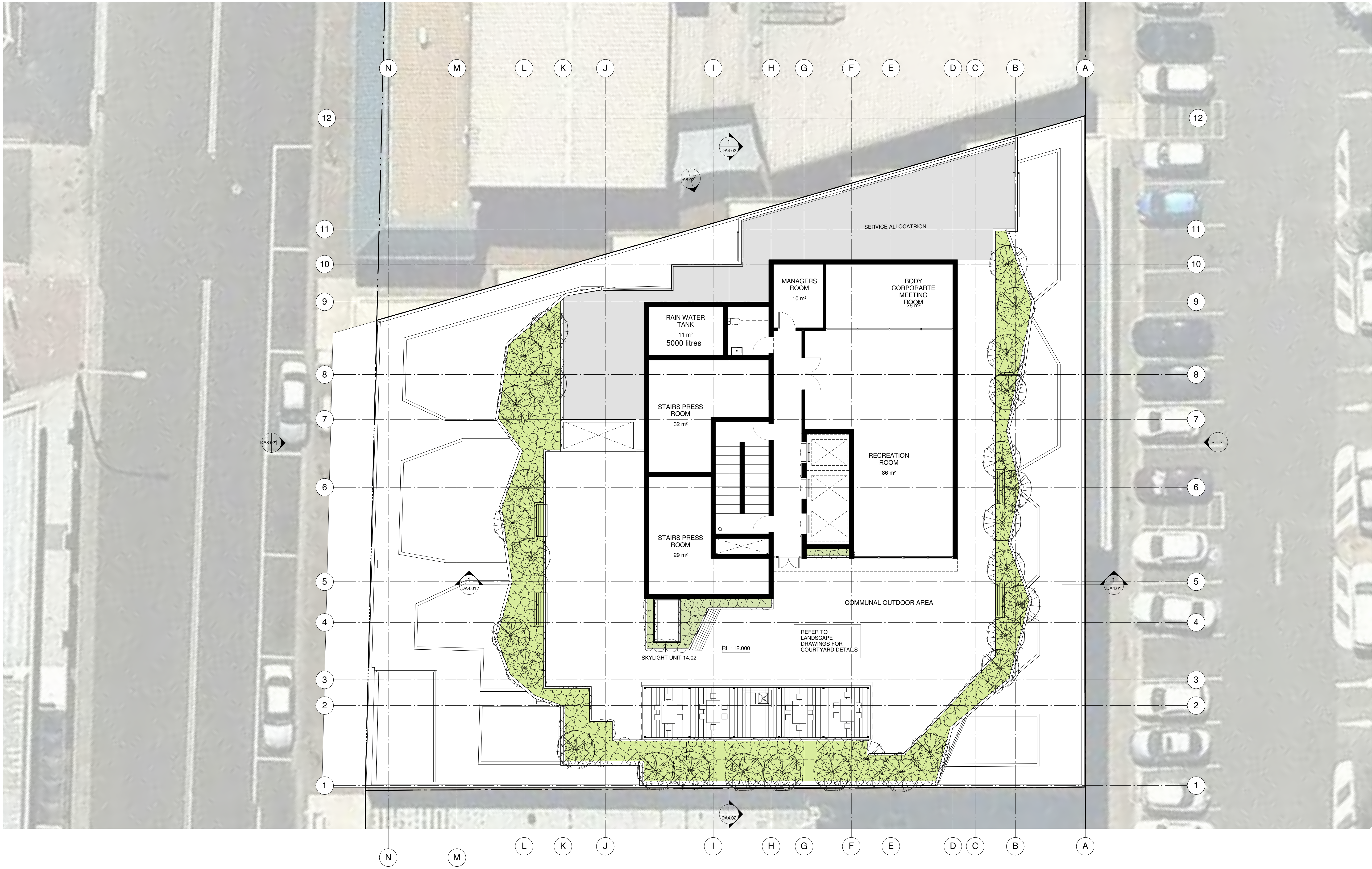


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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
LEVEL 14

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JOB 16035	DRAWING DA2.09	REVISION N	

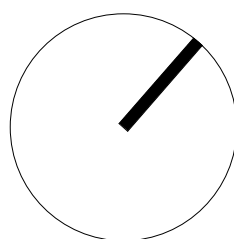


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B	08/12/2016	ISSUED FOR REVIEW	PD
C	16/12/2016	DRAFT DA	PD
D	20/12/2016	DRAFT DA FOR REVIEW	PD
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J	18/05/2018	UPDATED DA	CA
K	10/07/2018	UPDATED DA	CA

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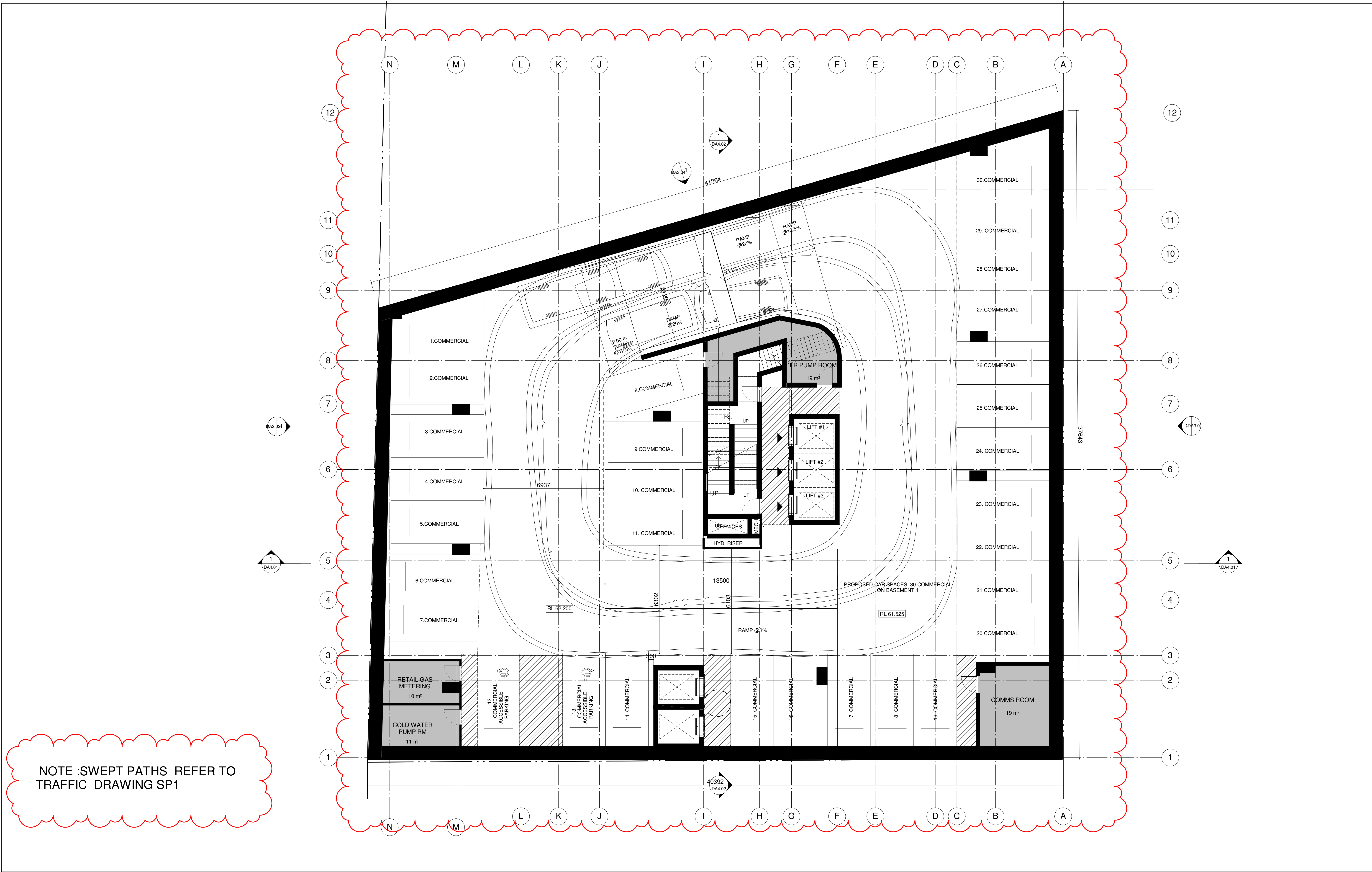


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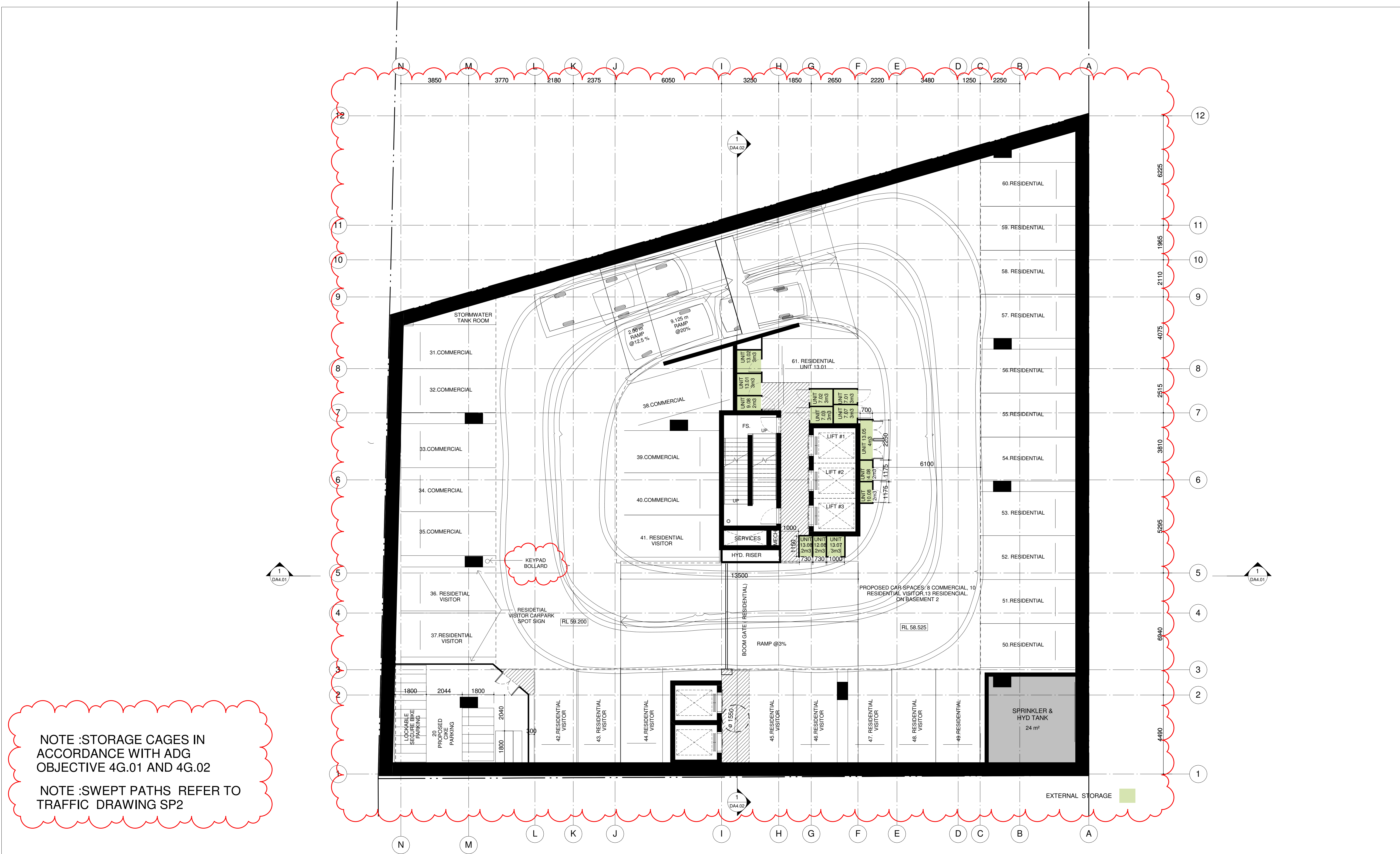
PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
LEVEL ROOF

SCALE 1:100 @A1 1:200 @A3	DATE 10/07/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA2.10	REVISION K	



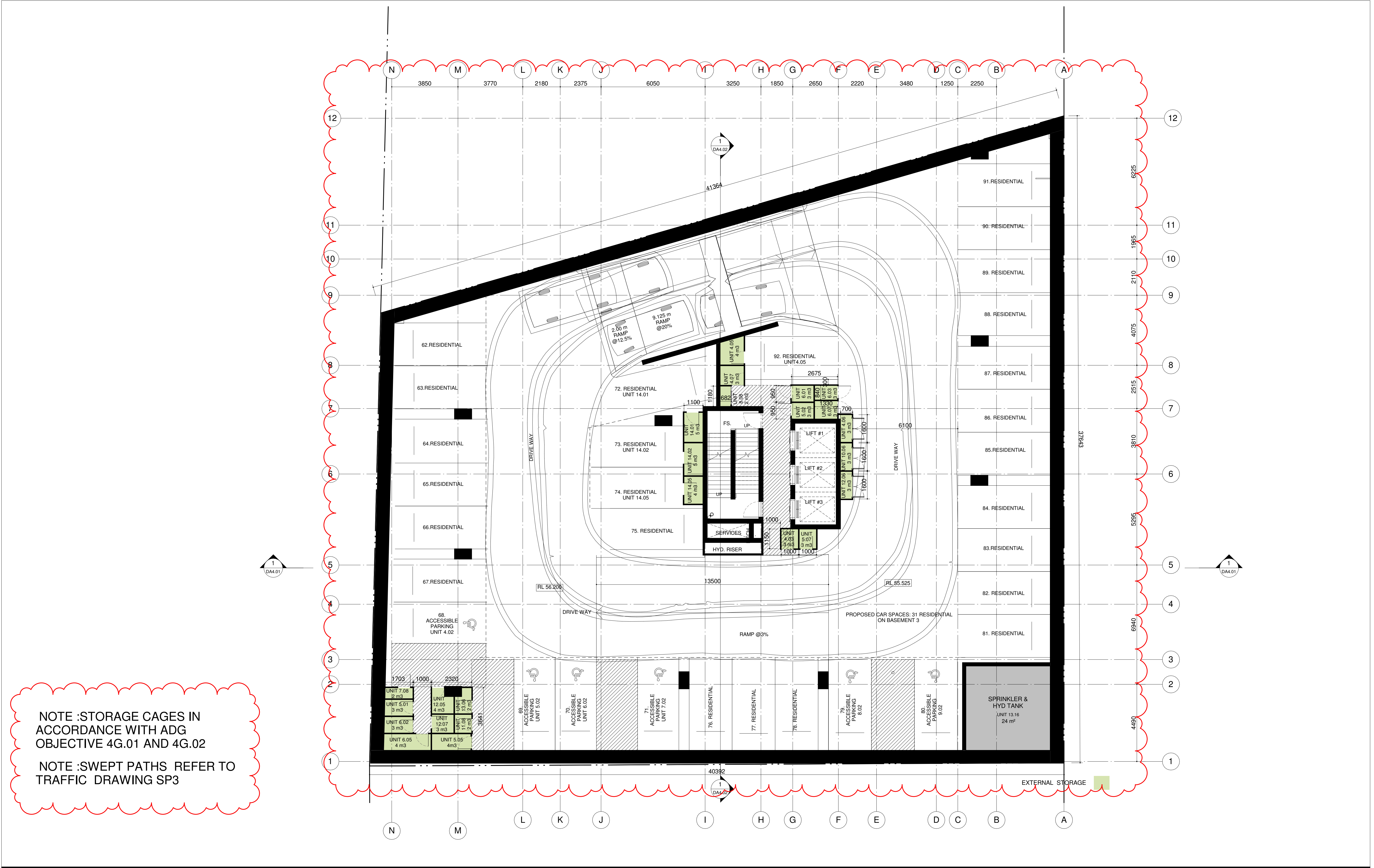
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	PROJECT CAMPBELLTOWN 8 DUMARESQ STREET		SCALE 1 : 100 @A1 1 : 200 @A3	DATE 21/08/2018					DRAWN CA	CHECKED AK		
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D	18/05/2018	UPDATED DA	CA									
E	10/07/2018	UPDATED DA	CA									
F	21/08/2018	UPDATED DA	CA									
DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION												



NOTE :STORAGE CAGES IN
ACCORDANCE WITH ADG
OBJECTIVE 4G.01 AND 4G.02

NOTE :SWEPT PATHS REFER TO
TRAFFIC DRAWING SP2

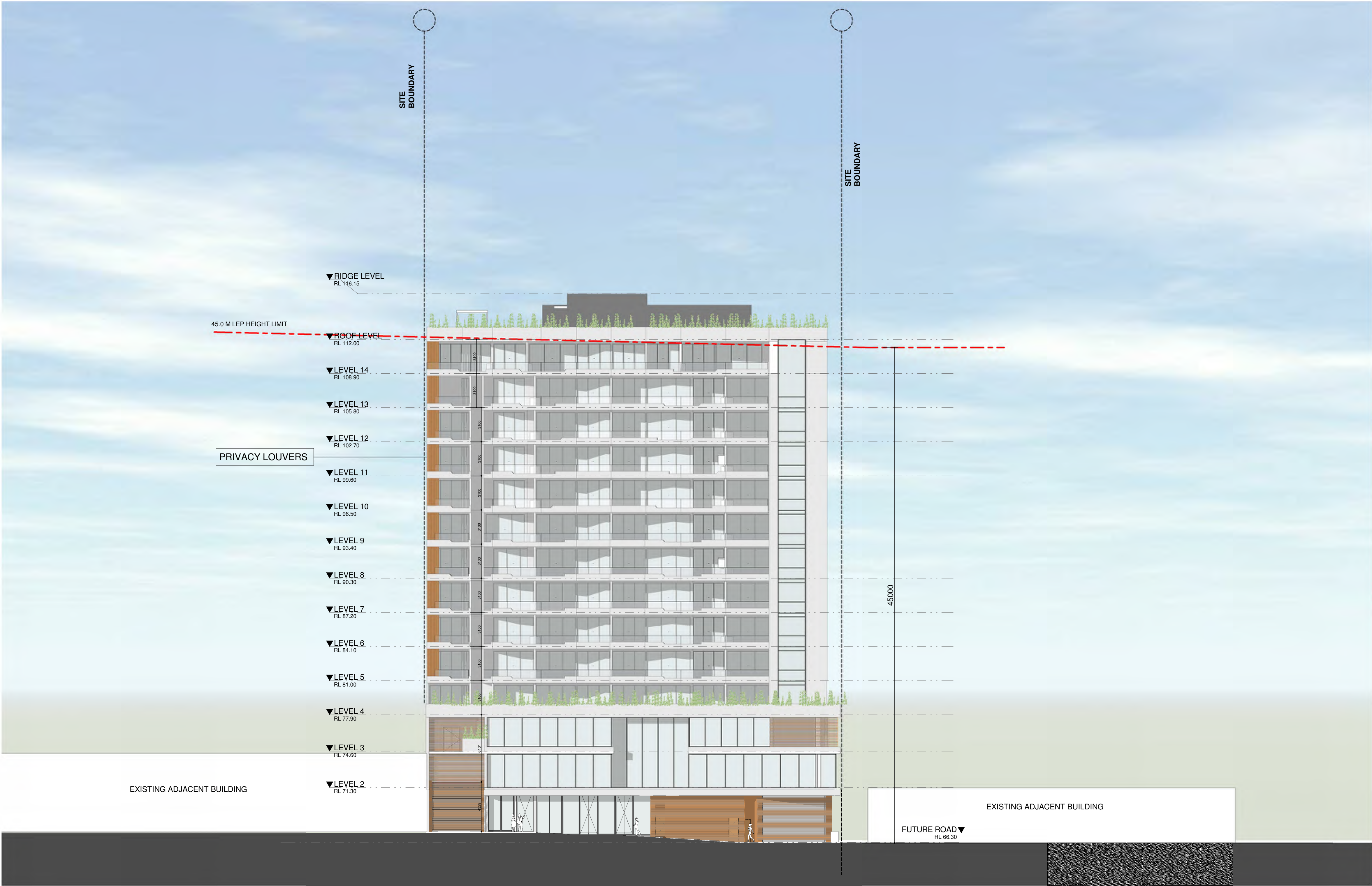
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	A	08/12/2017	ISSUED DA	CA			PROJECT CAMPBELLTOWN 8 DUMARESQ STREET				SCALE 1 : 100 @A1 1 : 200 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
	B	18/05/2018	UPDATED DA	CA							JOB 16035	DRAWING DA2.12		REVISION D
	C	10/07/2018	UPDATED DA	CA										
	D	21/08/2018	UPDATED DA	CA										



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	C	08/12/2017	ISSUED DA	CA										
	D	18/05/2018	UPDATED DA	CA										
	E	10/07/2018	UPDATED DA	CA										
	F	21/08/2018	UPDATED DA	CA										
						JOB 16035		DRAWING DA2.13		REVISION F				



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	A		16/11/2017	ISSUED FOR CLIENT CHANGES	CA
	B		28/11/2017	ISSUED FOR REVIEW	CA
	C		08/12/2017	ISSUED DA	CA
	D		18/05/2018	UPDATED DA	CA
	E		10/07/2018	UPDATED DA	CA
	F		21/08/2018	UPDATED DA	CA
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CLIENT SAXON DEVELOPMENTS					
PROJECT CAMPBELLTOWN 8 DUMARESQ STREET					
DRAWING TITLE BASEMENT 4					
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1:200 @A3					
JOB		DRAWING		REVISION	
16035		DA2.14		F	



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REVISION	DATE	DESCRIPTION	BY
A	20/12/2016	DRAFT DA FOR REVIEW	PD
B	21/12/2016	ISSUED FOR DA	PD
C	16/11/2017	ISSUED FOR CLIENT CHANGES	CA
D	28/11/2017	ISSUED FOR REVIEW	CA
E	08/12/2017	ISSUED DA	CA
F	18/05/2018	UPDATED DA	CA
G	10/07/2018	UPDATED DA	CA
H	21/08/2018	UPDATED DA	CA

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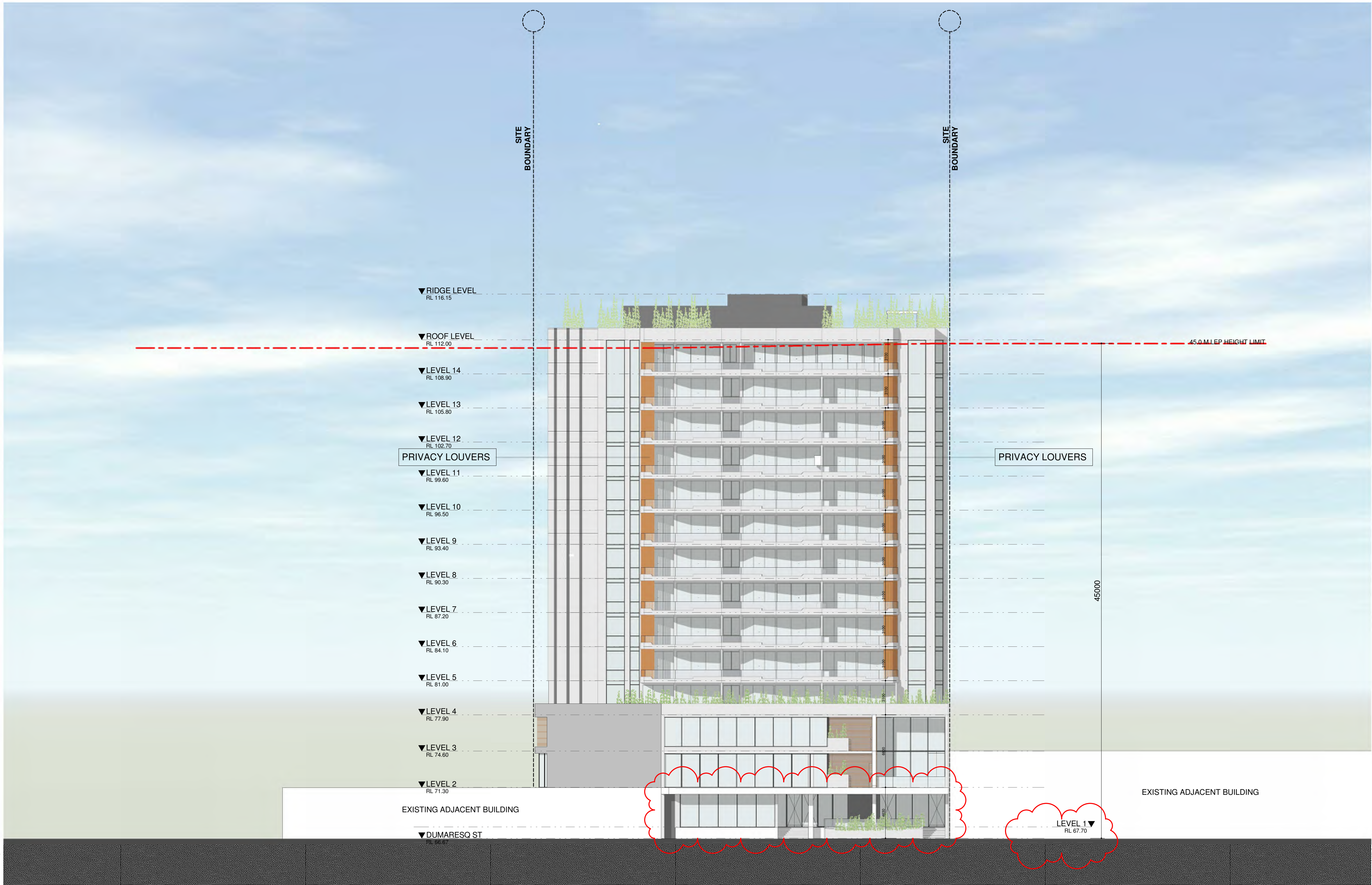
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CLIENT
SAXON DEVELOPMENTS

PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
NORTH EAST - FUTURE ROAD

SCALE 1:200 @A1 1:400 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA3.01	REVISION H	



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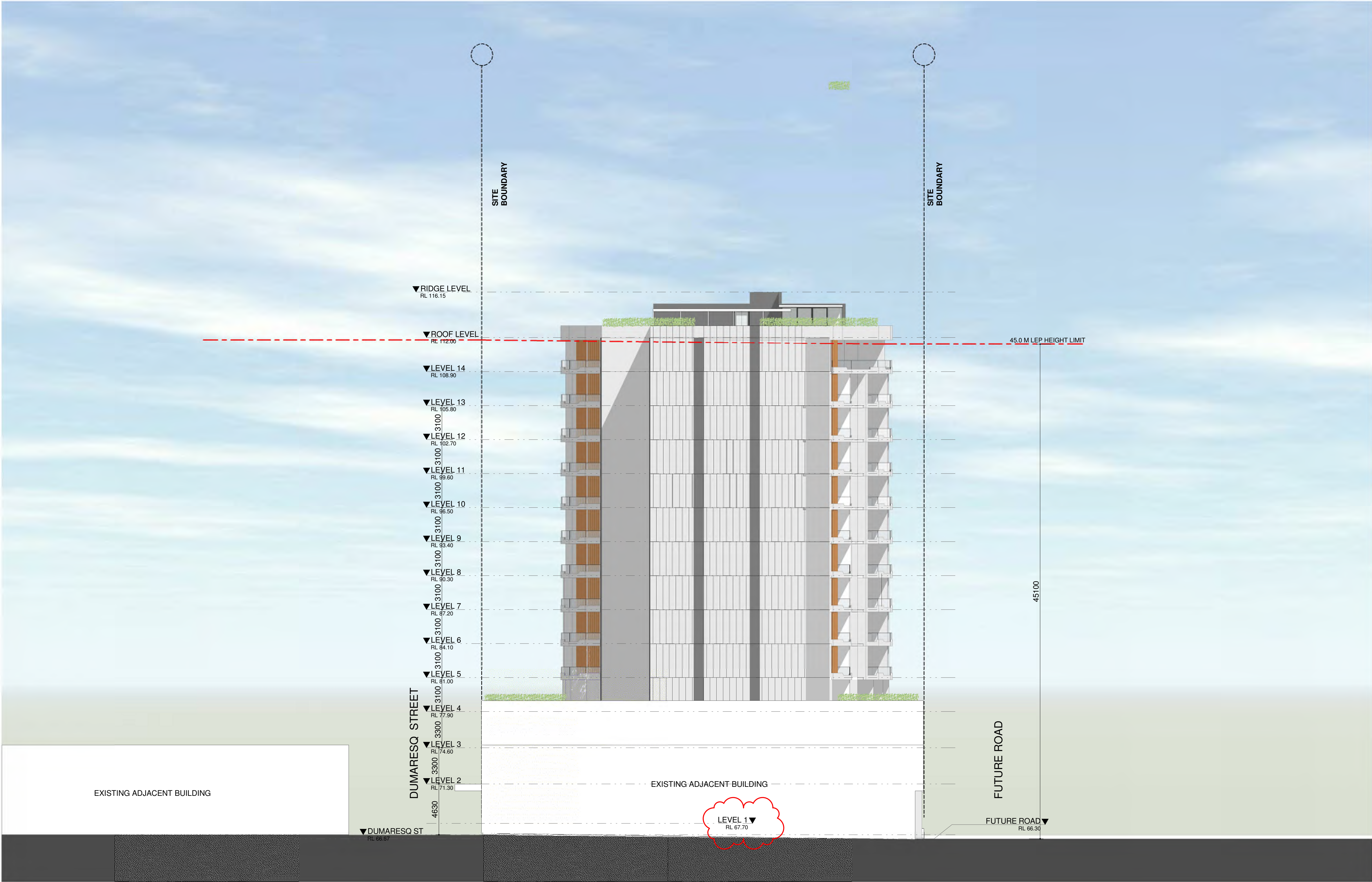
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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
SOUTH WEST - DUMARESQ STREET

SCALE 1:200 @A1 1:400 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA3.02	REVISION H	



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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
SOUTH EAST ELEVATION

SCALE 1:200 @A1 1:400 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA3.03	REVISION G	



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G	21/08/2018	UPDATED DA	CA

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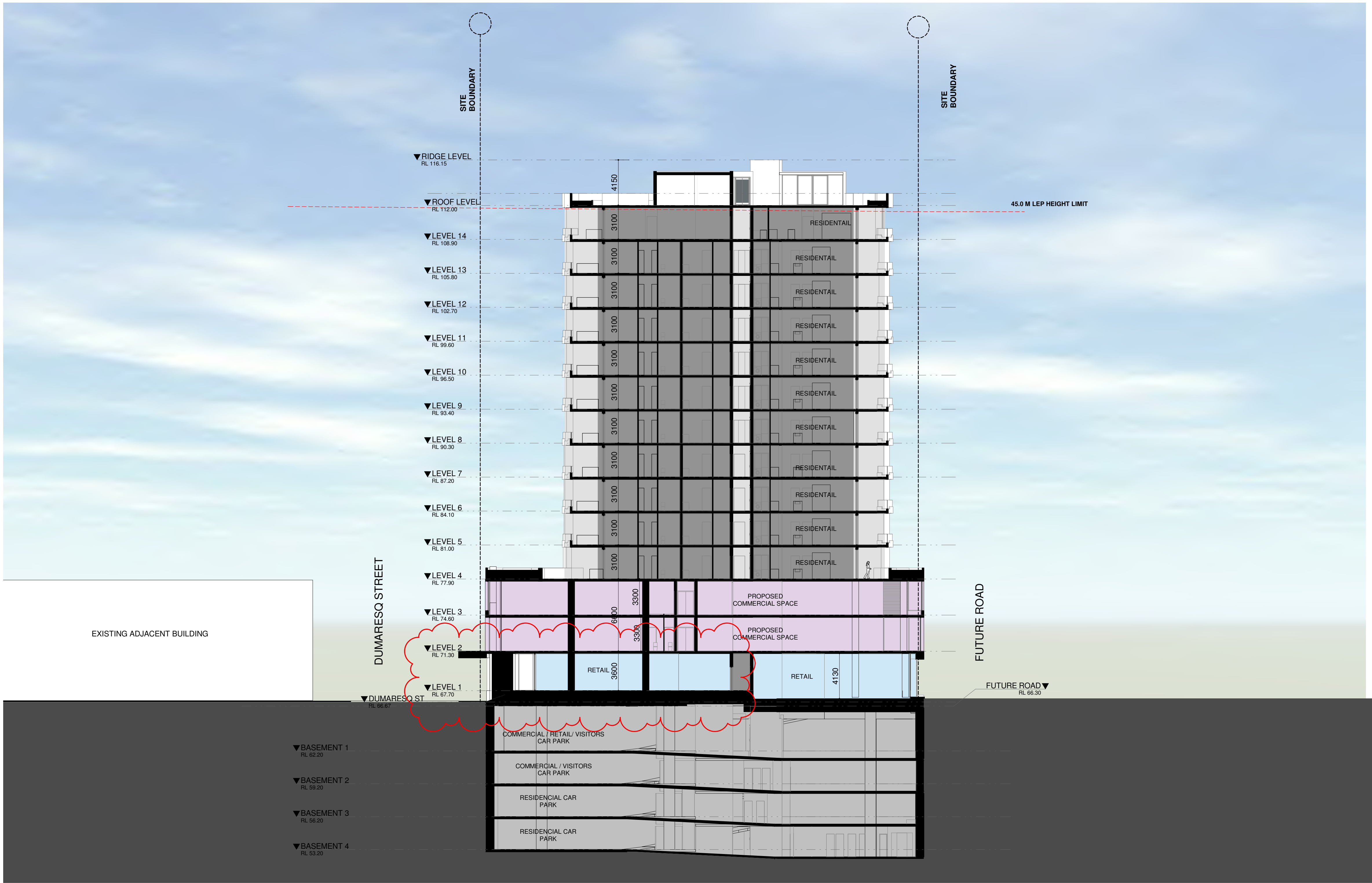
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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
NORTH WEST ELEVATION

SCALE 1:200 @A1 1:400 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA3.04	REVISION G	



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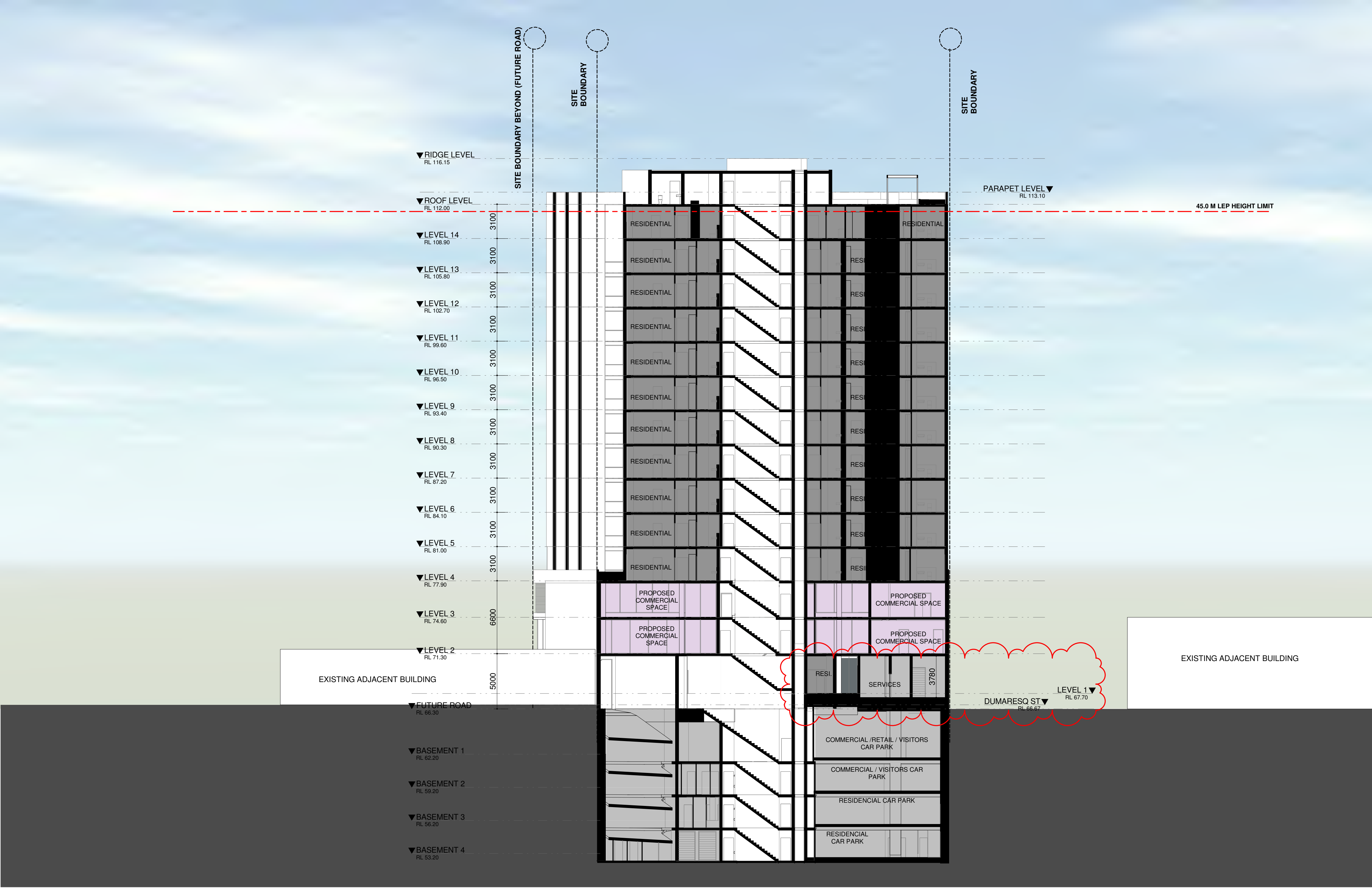
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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
SITE SECTION - SECTION 1-1

SCALE 1:200 @A1 1:400 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA4.01	REVISION H	



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DEVELOPMENT APPLICATION
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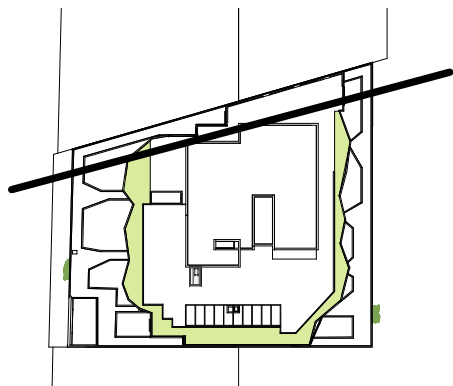
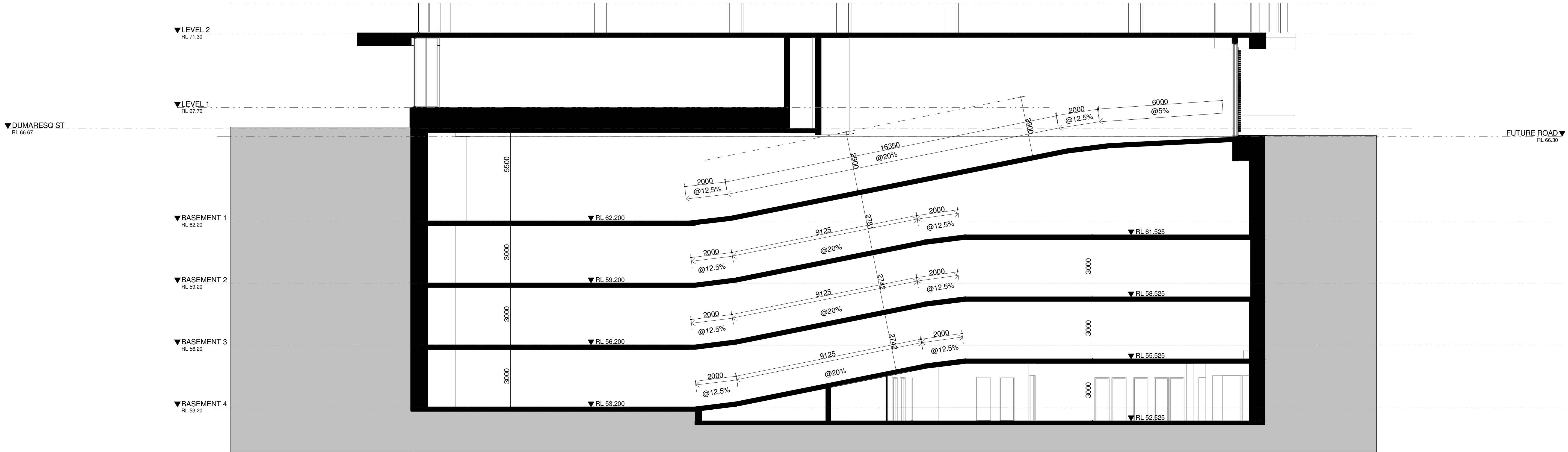
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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
SITE SECTION - SECTION 2-2

SCALE 1:200 @A1 1:400 @A3	DATE 21/08/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA4.02	REVISION H	



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DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION	BY
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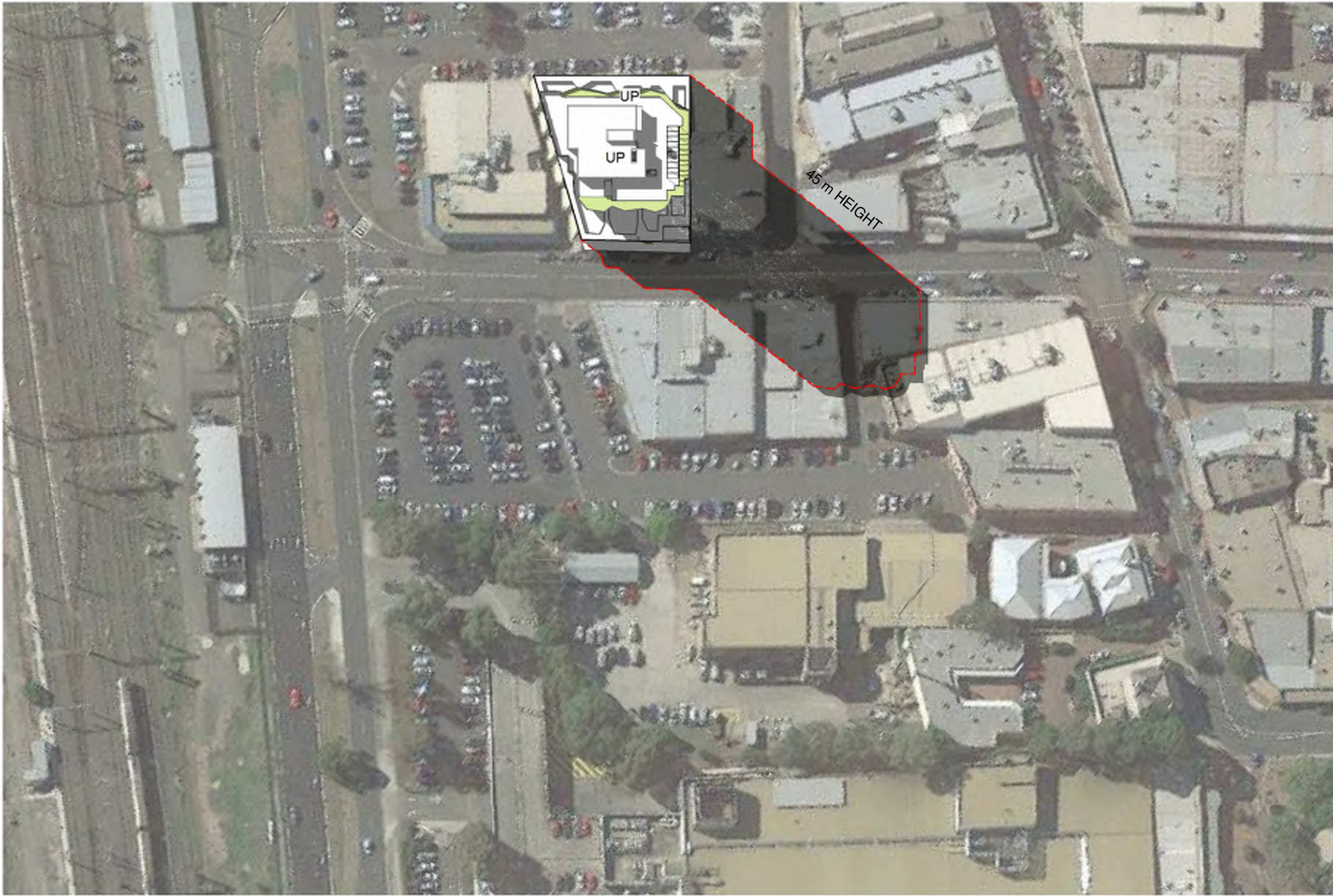
PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
RAMP DETAIL

SCALE 1:100 @A1 NTS	DATE 10/07/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA4.03	REVISION D	



21st June 9.00 am



21st June 12.00 am



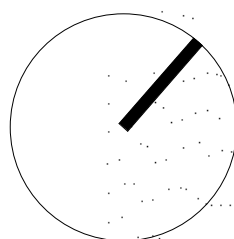
21st June 3.00 pm

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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
SHADOW ANALYSIS - Proposed 21st JUNE

SCALE 1:1000 @A1 1:2000 @A3	DATE 10/07/2018	DRAWN PD	CHECKED AK
JOB 16035	DRAWING DA5.01	REVISION F	



21st June 9.00 am



21st June 12.00 pm

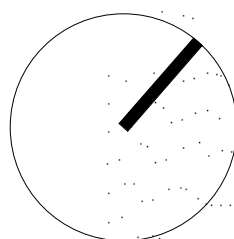


21st June 3.00 pm

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DEVELOPMENT APPLICATION
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REVISION	DATE	DESCRIPTION	BY
A	30/11/2017	ISSUED DA	CA
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D	10/07/2018	UPDATED DA	CA

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PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
**SHADOW ANALYSIS- 45 m HEIGHT 21
st JUNE**

SCALE 1 : 1000 @A1	DATE 10/07/2018	DRAWN Author	CHECKED Checker
JOB 16035	DRAWING DA5.02	REVISION D	

DIRECT SUNLIGHT IS ACHIVED TO THESE TWO UNITS FROM 3.00 PM 15th OCTOBER TO 28th FEBRUARY.
HOWEVER OVERALL DEVELOPMENT ACHIVES SIGNIFICANTLY OVER THE MINIMUM ADG SOLAR ACCESS REQUIREMENTS OF 76.5%



1 SOLAR ANALYSIS DIAGRAM - LEVEL 4-13
1 : 200



2 SOLAR ANALYSIS DIAGRAM - LEVEL 14
1 : 200

21st JUNE

- 9.00 am
- 10.00 am
- 11.00 am
- 12.00 pm
- 1.00 pm
- 2.00 pm
- 3.00 pm

TOTAL SOLAR ACCESS = 76.5 %

NOTE: REFER TO DATA SHEET FOR ADG TOTAL FIGURES

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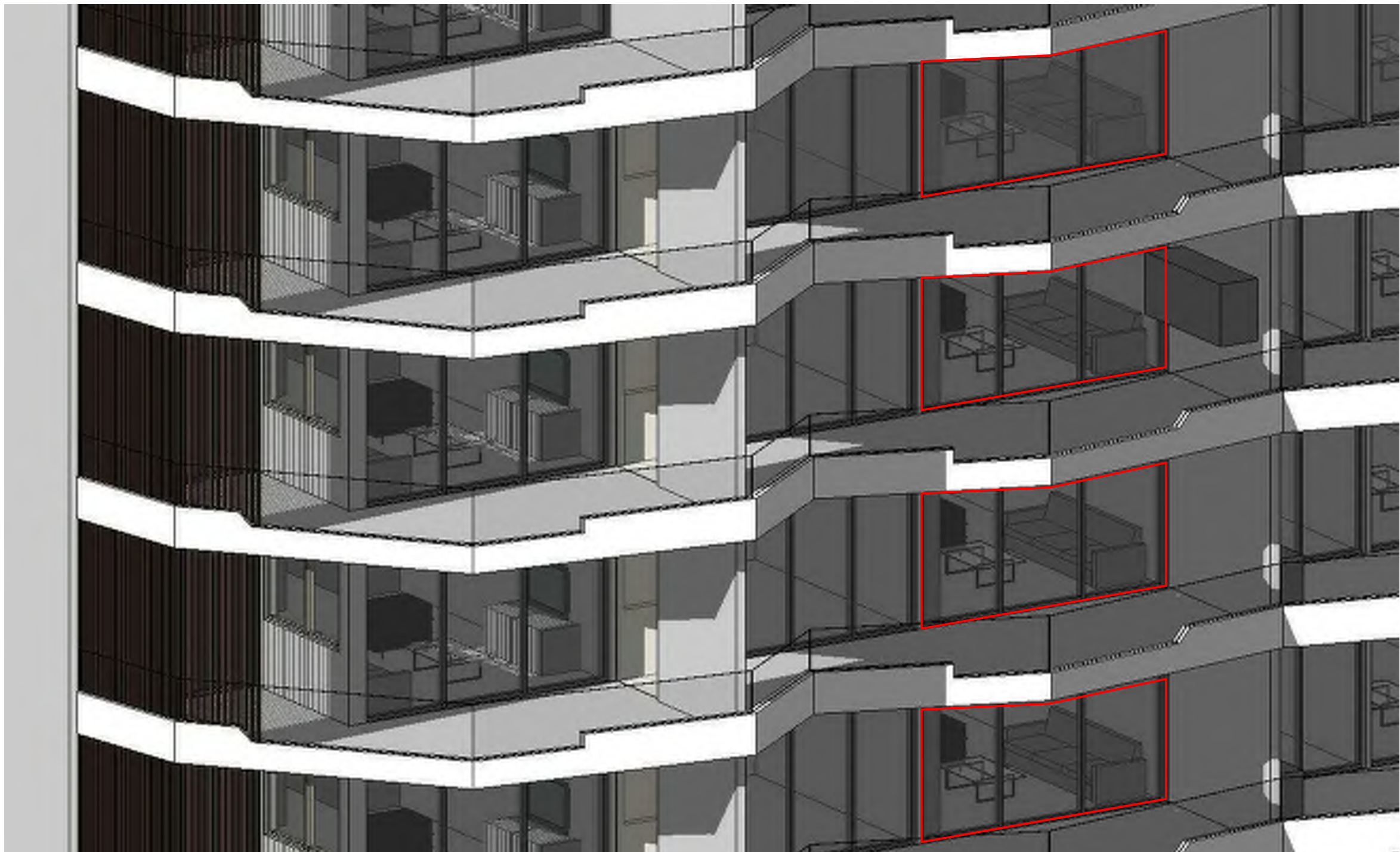
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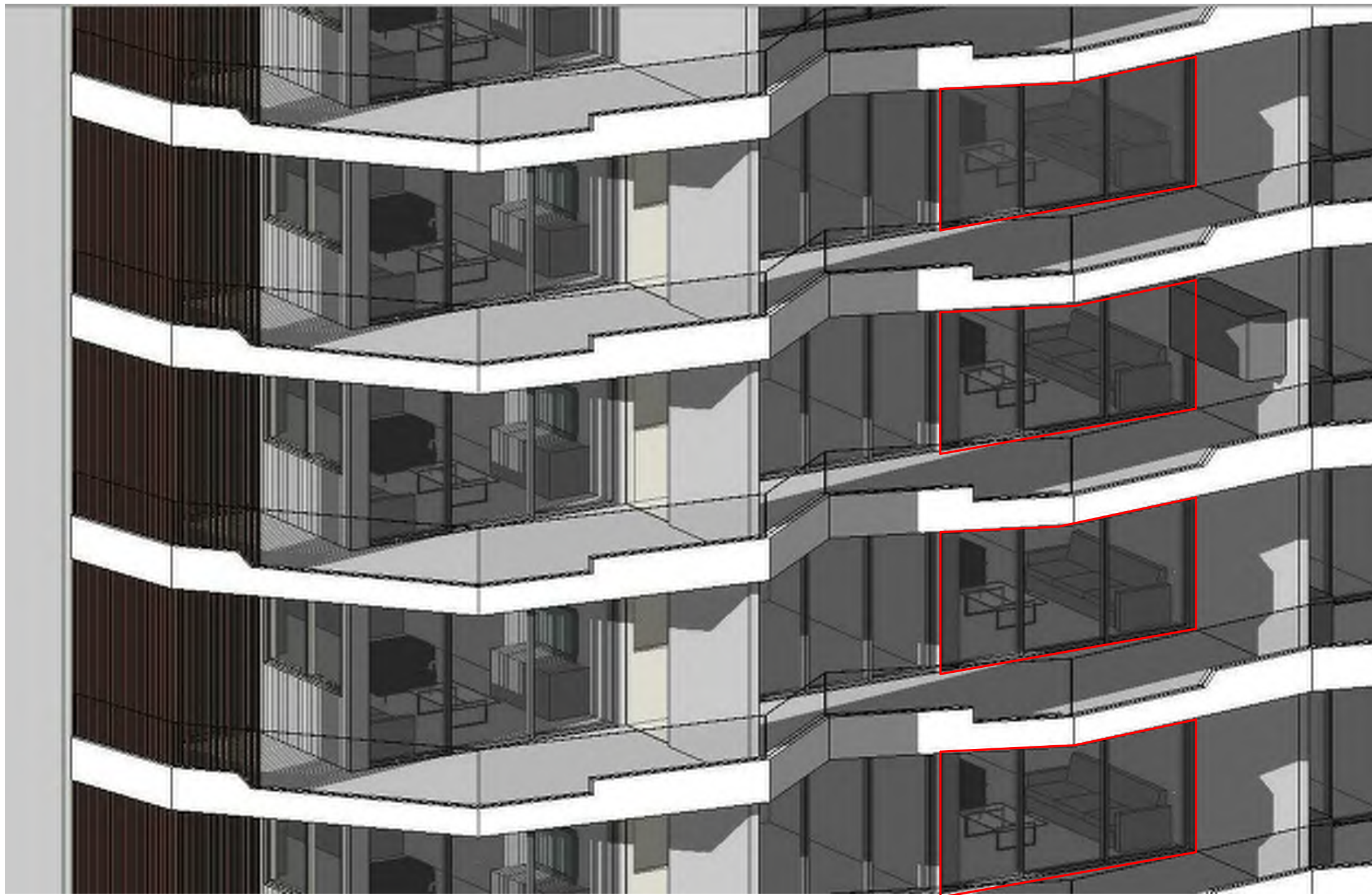
PROJECT
CAMPBELLTOWN
8 DUMARESQ STREET

DRAWING TITLE
SOLAR ANALYSIS DIAGRAM

SCALE 1 : 200 @A1 1 : 400 @A3	DATE 10/07/2018	DRAWN EK	CHECKED AK
JOB 16035	DRAWING DA5.21	REVISION E	

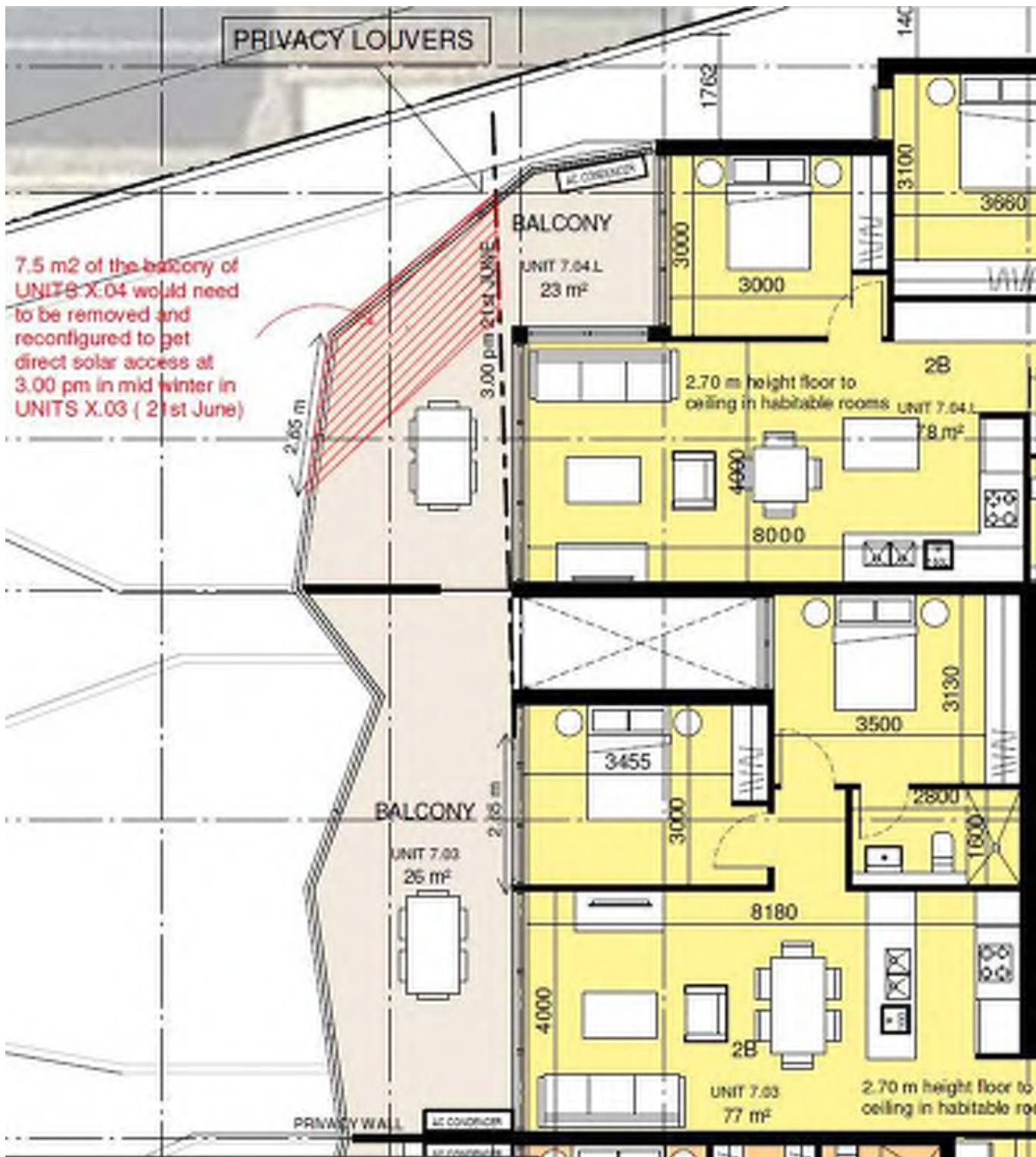


UNITS X.04 3.00 pm 21st JUNE



UNITS X.04 3.30 pm 21st JUNE

LIVING ROOM UNITS X.04



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DEVELOPMENT APPLICATION
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REVISION	DATE	DESCRIPTION	BY
A	21/08/2018	UPDATED DA	CA

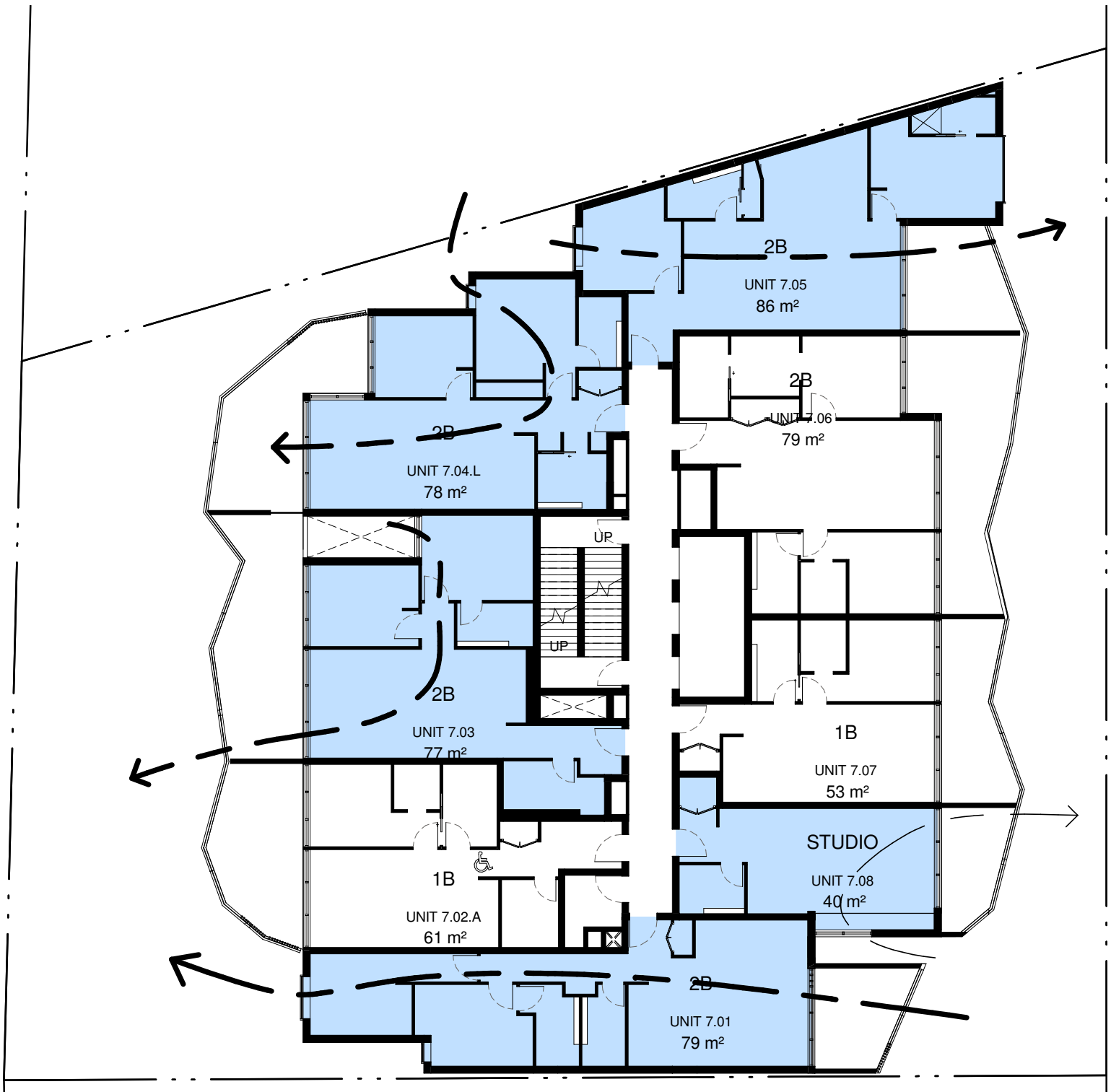
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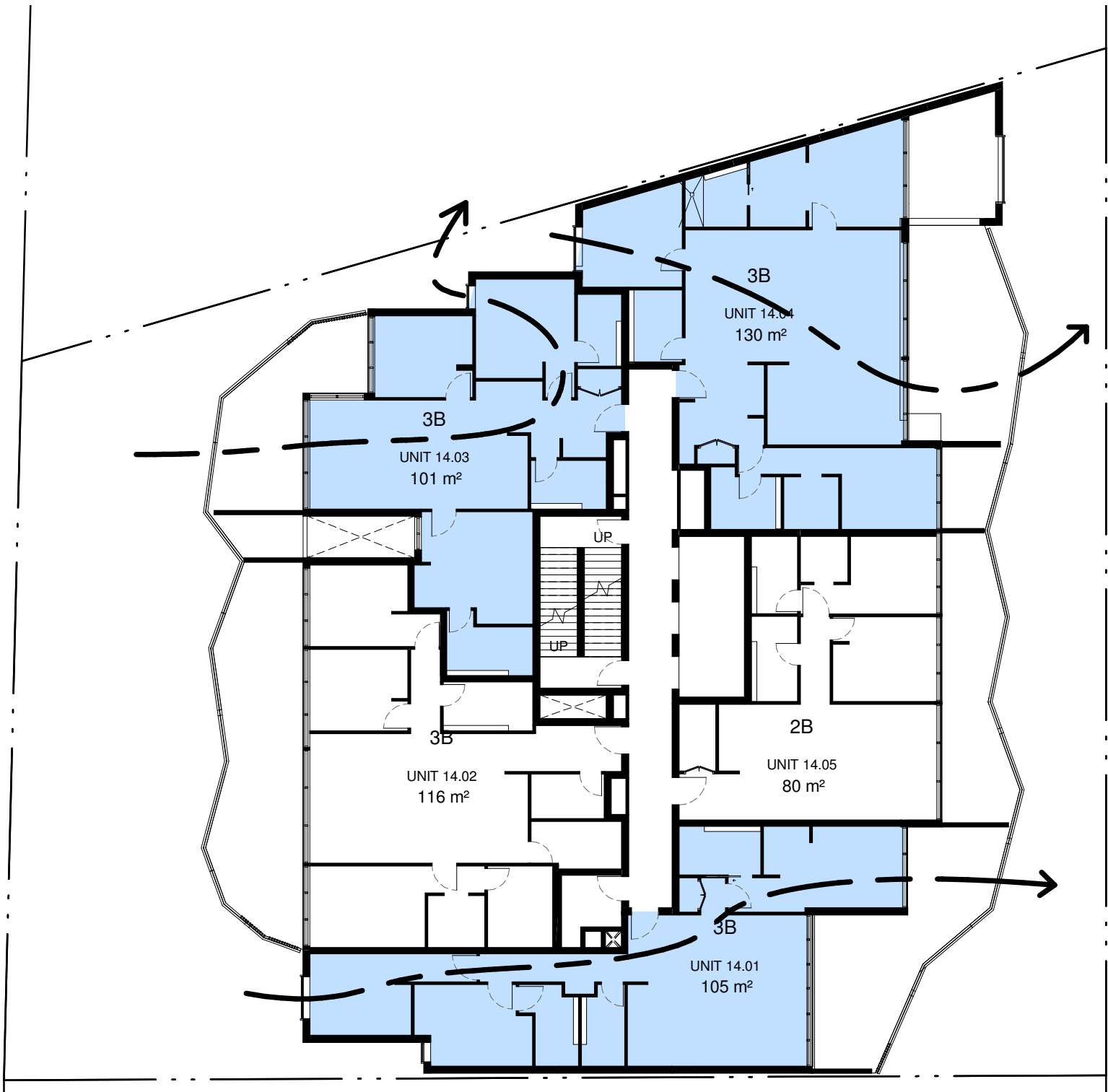
PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
SOLAR ANALYSIS UNIT X.04

SCALE	DATE	DRAWN	CHECKED
	21/08/2018	Author	Checker
JOB	DRAWING	REVISION	
16035	DA5.22	A	



1 CROSS VENTI. DIAGRAM - LEVEL 4-13
1 : 200



2 CROSS VENTI. DIAGRAM - LEVEL 14
1 : 200

TOTAL CROSS VENTILATION= 62.3 %

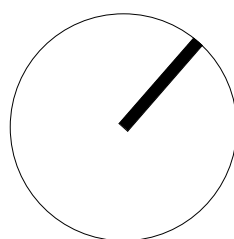
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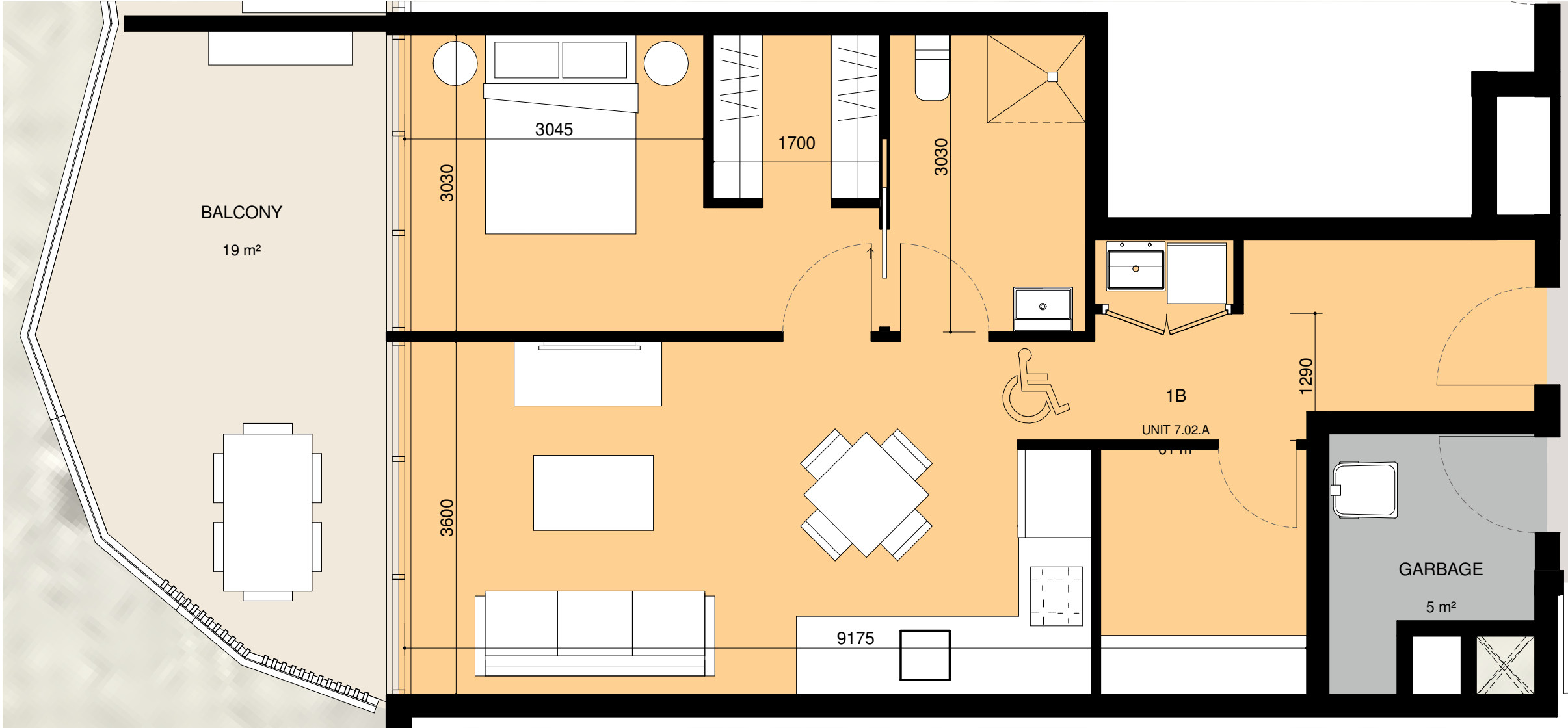


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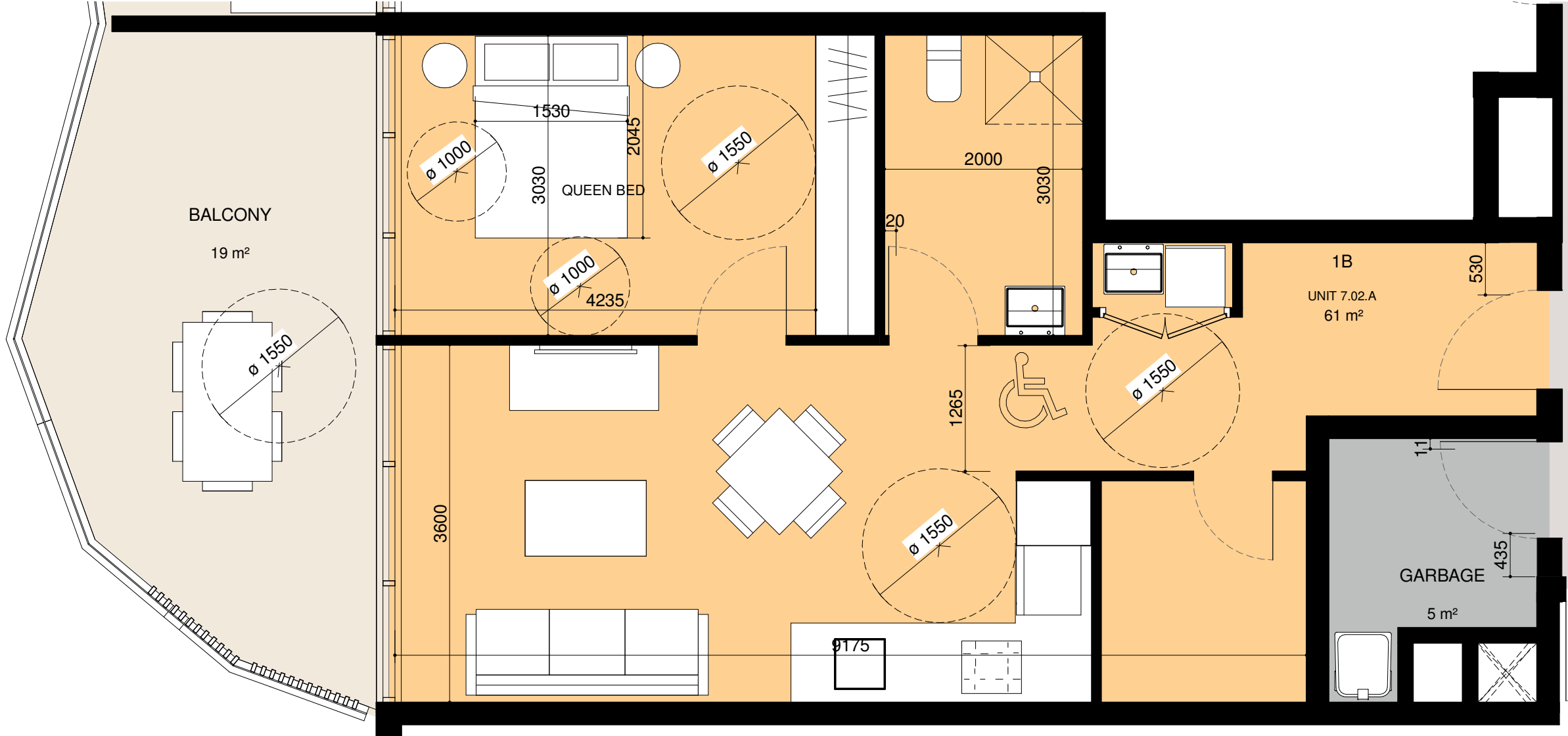
PROJECT
CAMPBELLTOWN
8 DUMARESQ STREET

DRAWING TITLE
CROSS VENTILATION DIAGRAM

SCALE	DATE	DRAWN	CHECKED
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JOB	DRAWING	REVISION	
16035	DA5.31	E	



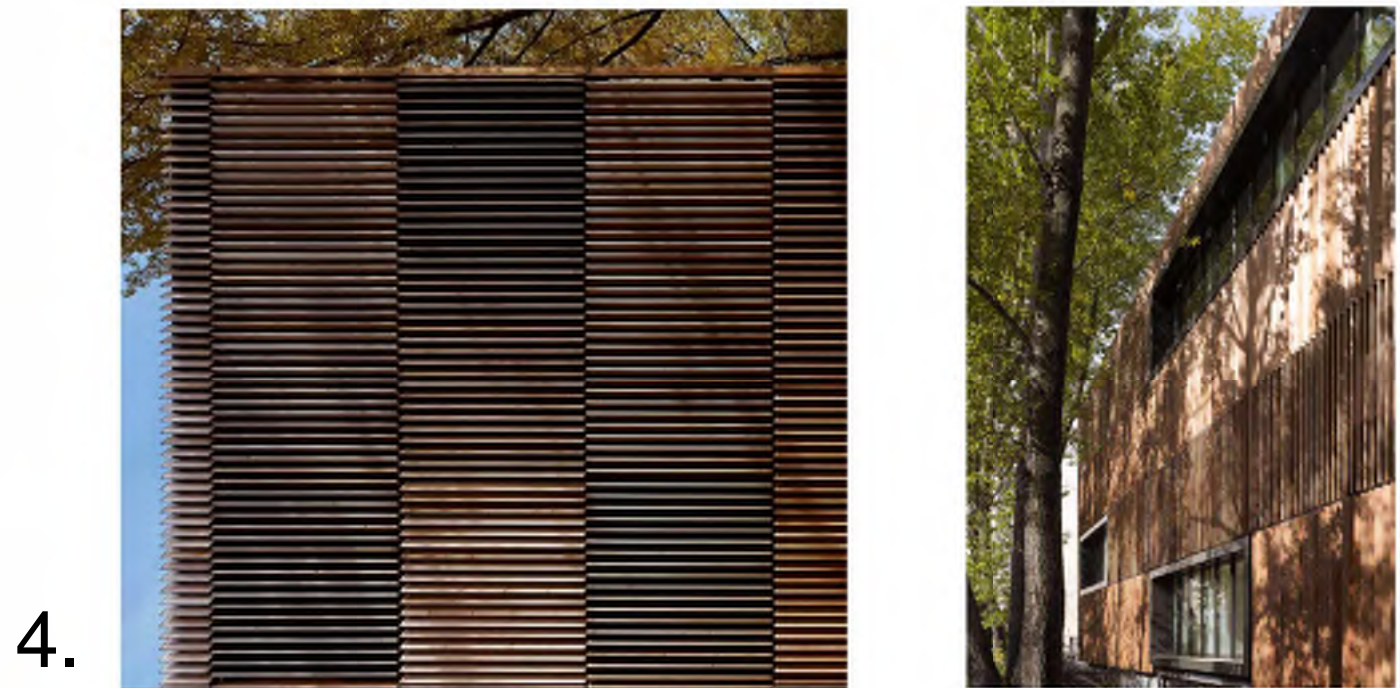
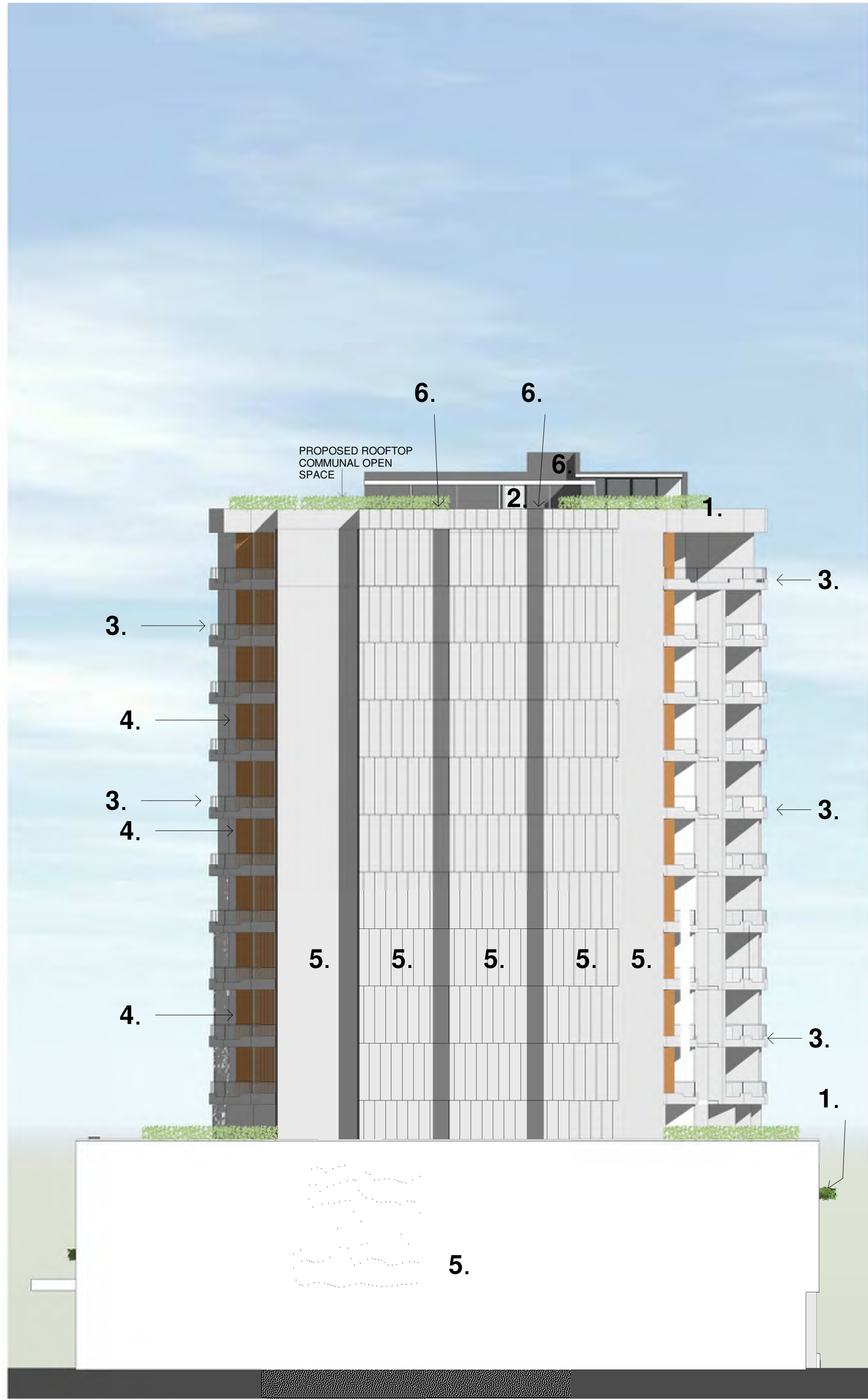
1 FLOOR PLAN - PRE ADAPTABLE
1 : 50



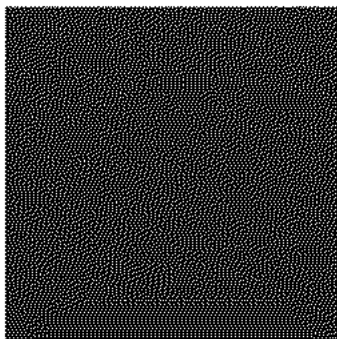
2 FLOOR PLAN - POST ADAPTABLE
1 : 50

TOTAL ADAPTABLE UNITS = 10
ADAPTABLE UNIT NO.S
6.02, 7.02, 8.02, 9.02, 10.02, 11.02, 12.02, 13.02, 14.02, 15.02

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	A	12/12/2016	ISSUED FOR REVIEW	PD					
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	D	06/12/2017	ISSUED DA	CA					
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marchesepartners Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060 Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com www.marchesepartners.com Sydney · Brisbane · Canberra · Melbourne · Adelaide · Perth London · Kuala Lumpur · Auckland ABN 20 098 552 151					CLIENT SAXON DEVELOPMENTS	DRAWING TITLE ADAPTABLE UNIT PLAN			
PROJECT CAMPBELLTOWN 8 DUMARESQ STREET		SCALE 1 : 50 @A1 1 : 100 @A3	DATE 10/07/2018	DRAWN PD	CHECKED AK				
		JOB 16035	DRAWING DA6.01	REVISION F					



1. PAINTED CONCRETE PLANTERBOXES - DULUX VIVID WHITE SW161
2. DARK GREY POWDER COATED ALUMINIUM WINDOW FRAMES AND CLEAR GLASS.
3. WHITE CONCRETE , DULUX VIVID WHITE SW161, AND GLAZED SEMI FRAMELESS BALAUSTRADE WITH CLEAR GLASS AND SILVER POWDERCOATED ALUMINIUM TOP RAIL INTERPOM D1000 VIVICCI GL211A
4. DARK TIMBER FINISH POWDER COATED ALUMINIUM LOUVRE SCREENS.
5. CONCRETE PAINTED, (LIGHT GREY) - DULUX SILVER TEA SET 9GGH1
6. DARK GREY - DULUX TIMELESS GREY SN4G4



5. DULUX SILVER TEA SET

6. DULUX TIMELESS GREY

1. & 3. DULUX VIVID WHITE SW161

2. DARK GREY POWDER COATED ALUMINIUM

4. DARK TIMBER FINISH POWDER COATED ALUMINIUM

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REVISION	DATE	DESCRIPTION	BY
A	20/12/2016	DRAFT DA FOR REVIEW	PD
B	21/12/2016	ISSUED FOR DA	PD
C	08/12/2017	ISSUED DA	CA
D	18/05/2018	UPDATED DA	CA
E	10/07/2018	UPDATED DA	CA
F	21/08/2018	UPDATED DA	CA

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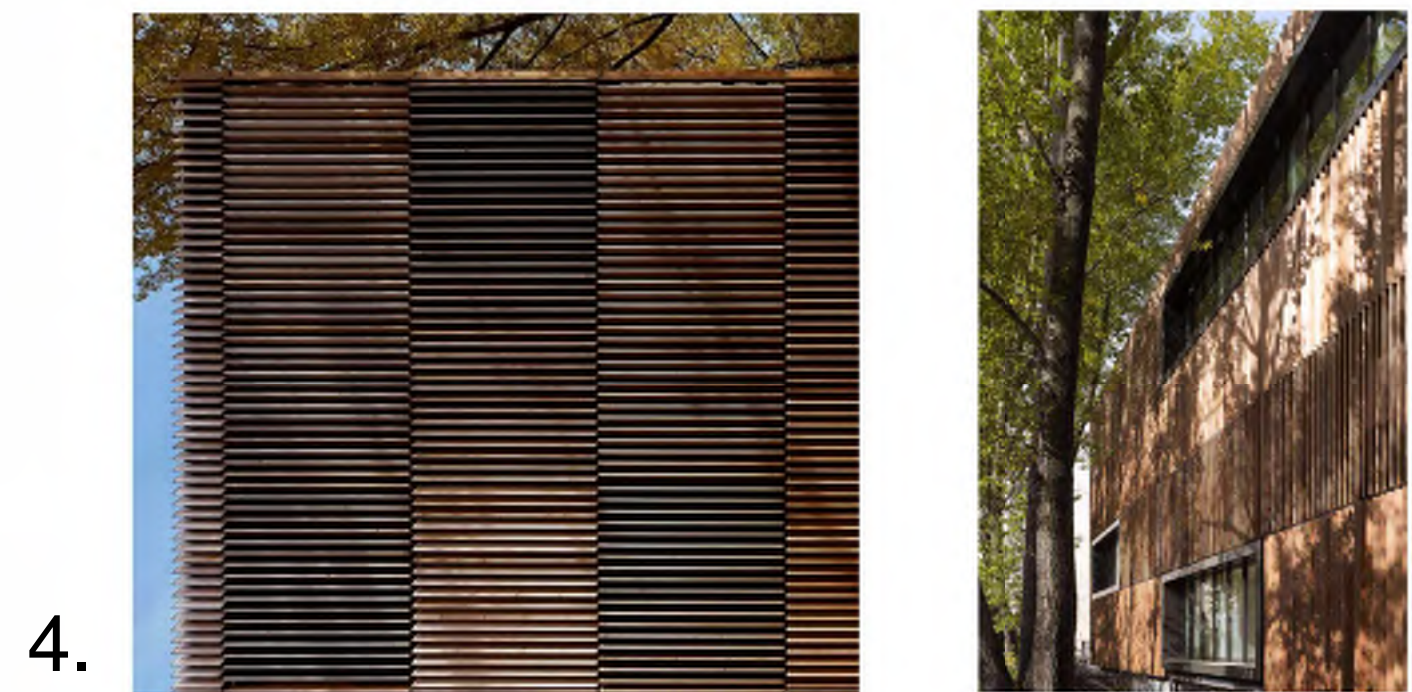
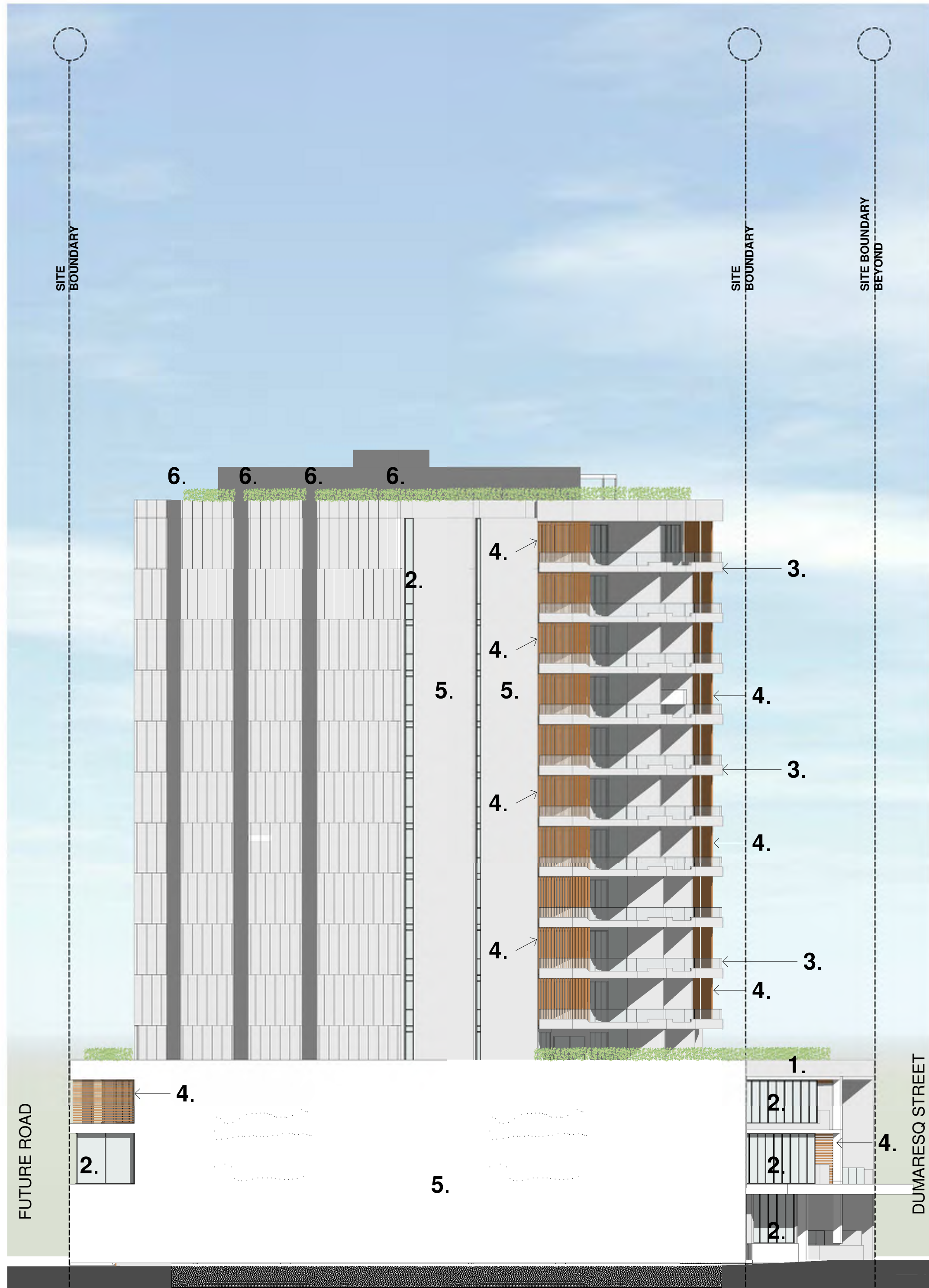
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CLIENT
SAXON DEVELOPMENTS

PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
MATERIAL BOARD

SCALE	DATE 21/08/2018	DRAWN EK	CHECKED AK
JOB 16035	DRAWING DA8.01	REVISION F	



1. PAINTED CONCRETE PLANTERBOXES - DULUX VIVID WHITE SW161
2. DARK GREY POWDER COATED ALUMINIUM WINDOW FRAMES AND CLEAR GLASS.
3. WHITE CONCRETE , DULUX VIVID WHITE SW161, AND GLAZED SEMI FRAMELESS BALAUSTRADE WITH CLEAR GLASS AND SILVER POWDERCOATED ALUMINIUM TOP RAIL INTERPOM D1000 VIVICCI GL211A
4. DARK TIMBER FINISH POWDER COATED ALUMINIUM LOUVRE SCREENS.
5. CONCRETE PAINTED, (LIGHT GREY) - DULUX SILVER TEA SET 9GGH1
6. DARK GREY - DULUX TIMELESS GREY SN4G4



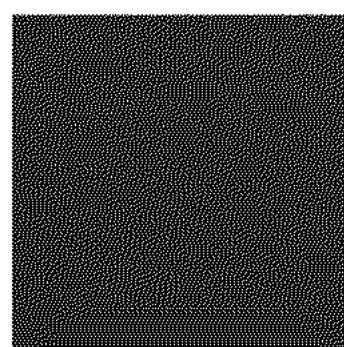
5. DULUX SILVER TEA SET



6. DULUX TIMELESS GREY



1. & 3. DULUX VIVID WHITE SW161



2. DARK GREY POWDER COATED ALUMINIUM



4. DARK TIMBER FINISH POWDER COATED ALUMINIUM

IMPORTANT NOTES:
Do not scale from drawings. All dimensions must be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE + PARTNERS INTERNATIONAL PTY. LTD.

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION	BY
A	18/05/2018	UPDATED DA	CA
B	10/07/2018	UPDATED DA	CA
C	21/08/2018	UPDATED DA	CA

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CLIENT
SAXON DEVELOPMENTS

PROJECT
**CAMPBELLTOWN
8 DUMARESQ STREET**

DRAWING TITLE
MATERIAL BOARD

SCALE	DATE 21/08/2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA8.02	REVISION C	

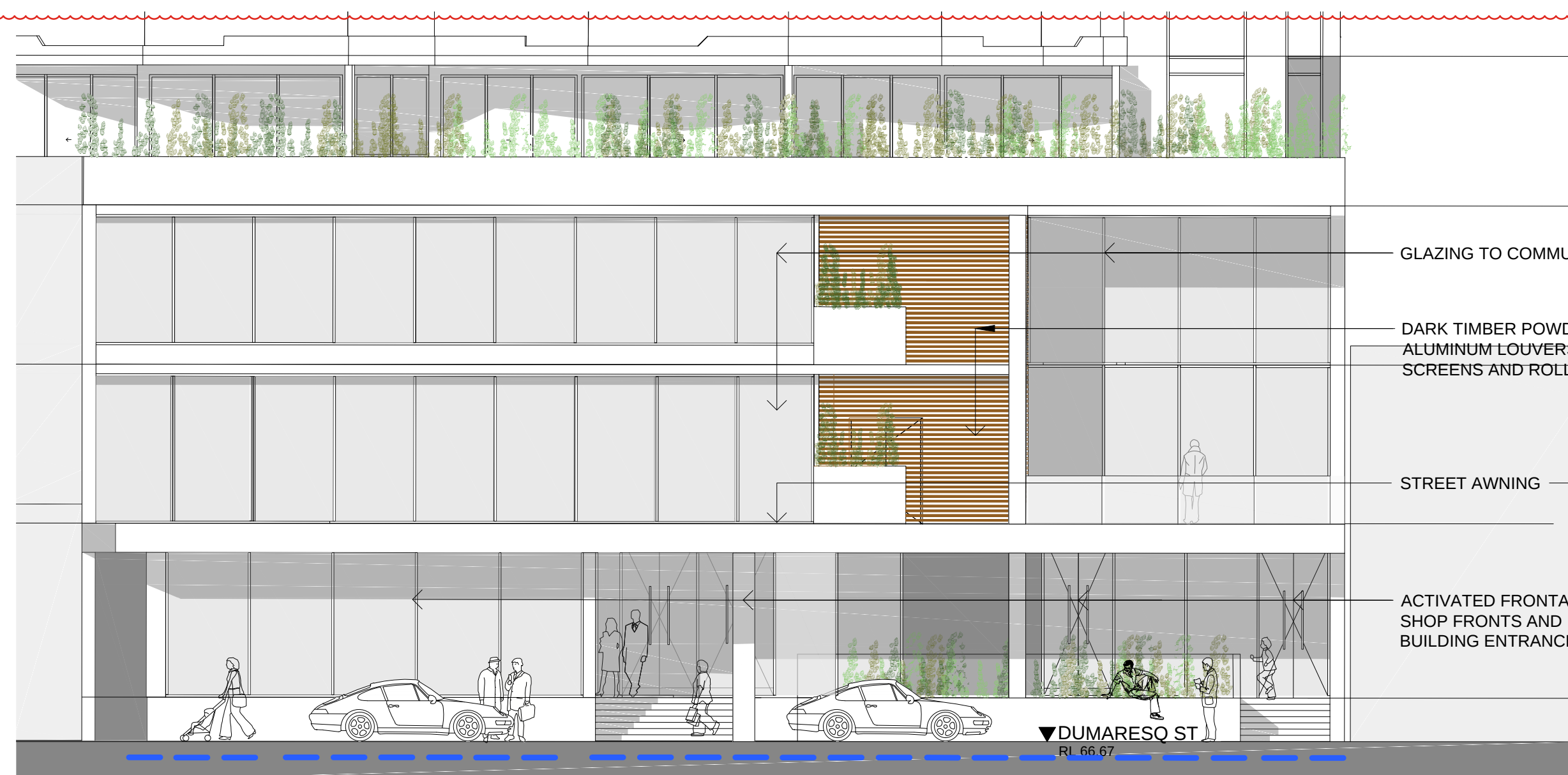
Floor Plan

The floor plan shows a building layout with the following areas and elevations:

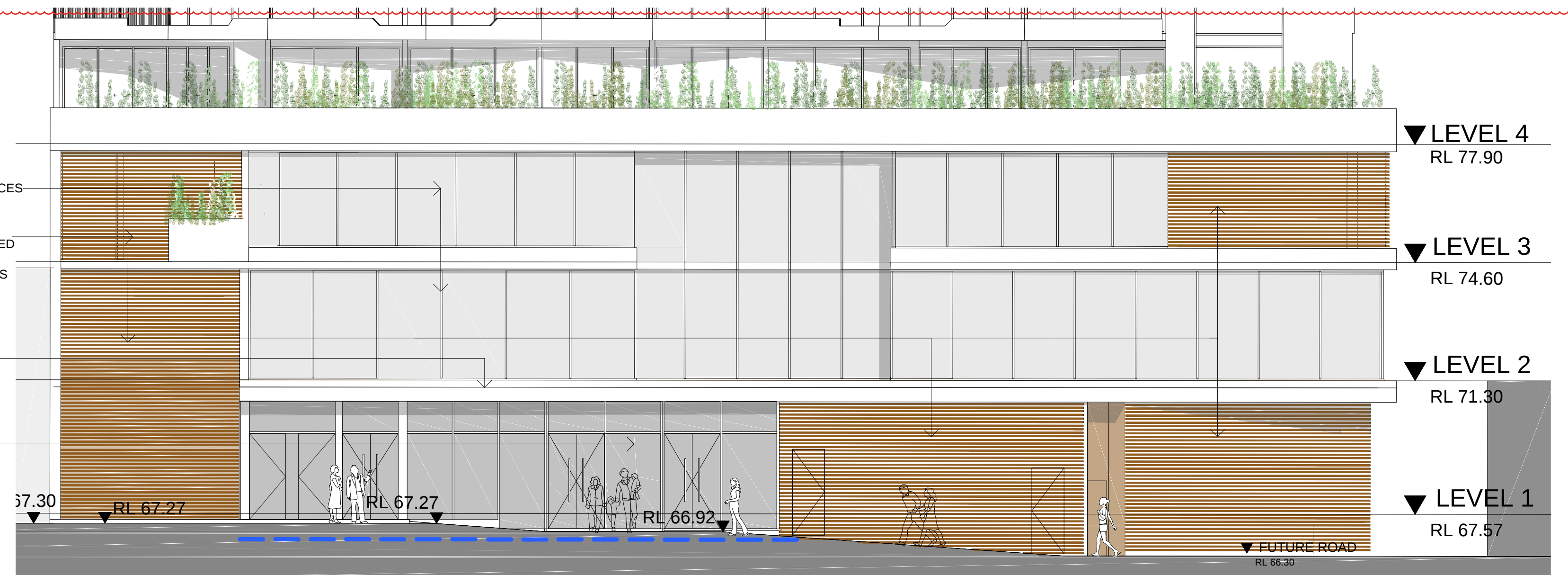
- MRV LOADING BAY:** 7.05 metre clearance, RL 67.320.
- RETAIL METERING:** 10 m².
- DCW METER & DCW CONTAINMENT PROTECTION DEVICE:** RL 67.320.
- HYD. BOOSTER VALVE:** RL 67.320.
- RESIDENTIAL LOBBY:** RL 67.320.
- UP:** Staircase indicating upward direction.
- RETAIL 2:** 168 m², RL 66.97.
- RETAIL ENTRANCE:** Indicated by blue arrows and dashed lines.
- GLAZING / ACTIVATED SHOPFRONT:** Indicated by a blue line.
- SUBSTATION LOBBY LEVEL:** 40 m², RL 66.470.
- RAMP @ 12.5%:** Two ramps shown, one with RL 66.35 and another with RL 66.30.
- RESIDENTIAL ENTRANCE:** Indicated by a red triangle.
- EXISTING CAR PARK / FUTURED ROAD:** Located below the building, showing car symbols and a wheelchair symbol.

Other elevations and labels include RL 67.290, RL 67.290, RL 66.920, and RL 66.30.

Floor Plan



Dumaresq Street Elevation



North East / Future Road Elevation

An architectural rendering of a proposed modern commercial building. The building features a large glass facade with a prominent sign that reads "100 MARKET". To the left, a vertical sign for "Market City" is visible. The building is situated on a city street with a wide sidewalk. Several trees are planted along the sidewalk, and numerous pedestrians are shown walking, giving a sense of scale and activity. The rendering is presented in a warm, slightly desaturated color palette.

A photograph of the exterior of the 100% Pure Japanese restaurant at night. The building has a modern, industrial aesthetic with concrete and wood paneling. The ground floor features large glass windows and doors, revealing the interior where several people are seated at tables. A sign with a lightning bolt and the word "PURE" is visible on the left. A bicycle is parked on the sidewalk in front of the entrance. The upper floors have large windows and a balcony area.

STREET AND RETAIL CONNECTION

REVISION	DATE	DESCRIPTION	BY
A	2018.05.18	UPDATED DA	CA

A circular spinner is shown with a pointer indicating the value 3 on a scale from 0 to 4. The scale is marked at 0, 1, 2, 3, and 4. The spinner is divided into 4 equal sectors, and the pointer is pointing to the sector labeled 3.

DRAWING TITLE			
ACTIVATION OF THE STREET FRONTAGE & PODIUM FACADE DETAIL			
SCALE 1:100@A1 1:200@A3	DATE 21-08-2018	DRAWN CA	CHECKED AK
JOB 16035	DRAWING DA 8.10		REVISION C